
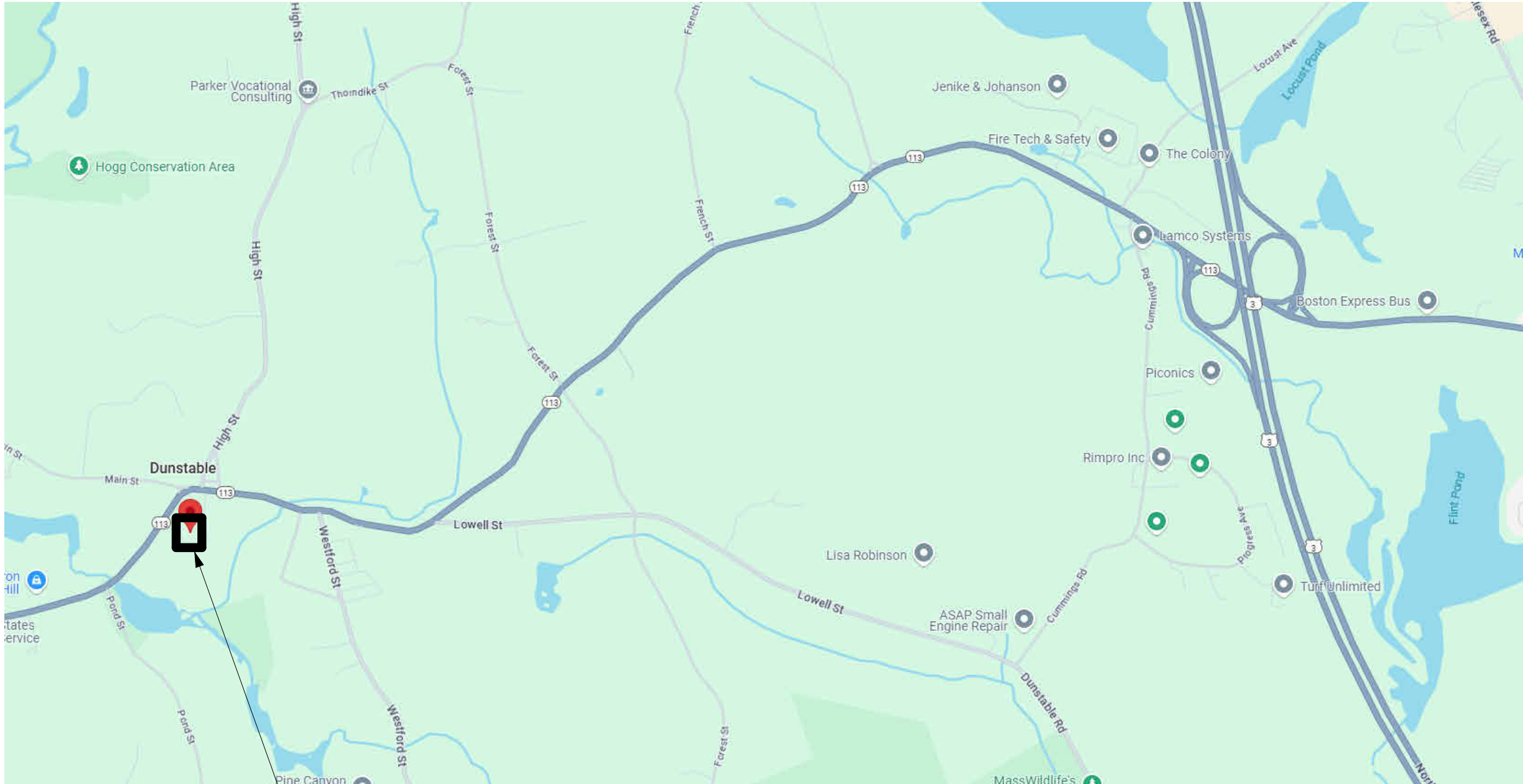


<div>Project Summary</div> <div><p>This project summary is intended to provide a general understanding of the work and is not intended to be all inclusive. These drawings depict the exterior restoration of the historic Union School Building (circa 1895). The building is the located in the Dunstable Historic District. The building is currently unoccupied. However, it is attached to the actively used Swallow Elementary School which is part of the Groton-Dunstable Regional School District.</p><p>The scope of work for the Dunstable Union Building Exterior Restoration includes, but is not limited to, the following:</p><div><div>1. Siding repair and replacement</div><div>2. Wood trim and molding repairs and replacement</div><div>3. Flashing repairs and replacement</div><div>4. Paint removal and new painting</div><div>5. Window and door replacement</div><div>6. Chimney and foundation masonry repointing</div><div>7. Slate roof repairs</div><div>8. Replace existing exterior light fixtures with new LED fixtures</div><div>9. Replace asphalt roofs with 16 oz flat seam copper</div></div></div> <div><div><u>Alternate #1</u></div><div><div>Replace all exterior wood siding and exterior wood trim at Connector portion of building</div></div></div> <div><div>Building Aerial View</div><div></div><div>Locus Plan</div><div></div></div> <tr><td colspan="3"><div>Dunstable Union Building Exterior Restoration</div><div>522 Main Street, Dunstable, MA 01827</div><div>3/12/2025 Bid Set</div><div>DRAWING LIST</div><div><div>General Project Information</div><div><div>G-1</div><div>Title Sheet</div></div><div><div>G-2</div><div>General Notes</div></div><div><div>G-3</div><div>Contractor Site Access Plan</div></div><div><div>G-4</div><div>Contractor Site Access Plan Enlarged</div></div><div><div>G-5</div><div>Existing Photos</div></div><div><div>G-6</div><div>Existing Photos</div></div></div><div><div>Demolition</div><div><div>AD101</div><div>Site Demolition Plan</div></div><div><div>AD131</div><div>Roof Demolition Plan</div></div><div><div>AD132</div><div>North, East, and West Roof Areas of Damage</div></div><div><div>AD133</div><div>South Roof Areas of Damage</div></div><div><div>AD200</div><div>North Elevation Demolition</div></div><div><div>AD201</div><div>North Elevation Front Entry Demolition</div></div><div><div>AD210</div><div>West Elevation Demolition</div></div><div><div>AD220</div><div>South Elevation Demolition</div></div><div><div>AD230</div><div>East Elevation Demolition</div></div><div><div>AD500</div><div>Egress Stair Door & Window Infill Details Demolition</div></div></div><div><div>Architectural</div><div><div>A131</div><div>Roof Plan Proposed</div></div><div><div>A200</div><div>North Elevation Proposed</div></div><div><div>A201</div><div>North Elevation Front Entry Proposed</div></div><div><div>A210</div><div>West Elevation Proposed</div></div><div><div>A220</div><div>South Elevation Proposed</div></div><div><div>A230</div><div>East Elevation Proposed</div></div><div><div>A500</div><div>Egress Stair Door & Window Infill Details</div></div><div><div>A501</div><div>Proposed Details & Schedules</div></div></div></td></tr> <tr><td><div>OWNER/CLIENT</div><div>Town of Dunstable</div><div>511 Main St Dunstable , MA 01827 (978) 649-4514</div></td><td><div>ARCHITECT</div><div><div><div>GIENAPP ARCHITECTS</div><div>Begin Here. Finish Well.</div></div><div><div>20 Conant Street Danvers, MA 01923</div><div>978-750-9062 gienapparchitects.com</div></div></div><div>HAZARDOUS MATERIALS CONSULTANT</div><div>Environmental & Construction Management Services Inc.</div><div>288 Grove Street #391 Braintree, MA 02184 617-338-2121</div></td></tr>			<div>Dunstable Union Building Exterior Restoration</div> <div>522 Main Street, Dunstable, MA 01827</div> <div>3/12/2025 Bid Set</div> <div>DRAWING LIST</div> <div><div>General Project Information</div><div><div>G-1</div><div>Title Sheet</div></div><div><div>G-2</div><div>General Notes</div></div><div><div>G-3</div><div>Contractor Site Access Plan</div></div><div><div>G-4</div><div>Contractor Site Access Plan Enlarged</div></div><div><div>G-5</div><div>Existing Photos</div></div><div><div>G-6</div><div>Existing Photos</div></div></div> <div><div>Demolition</div><div><div>AD101</div><div>Site Demolition Plan</div></div><div><div>AD131</div><div>Roof Demolition Plan</div></div><div><div>AD132</div><div>North, East, and West Roof Areas of Damage</div></div><div><div>AD133</div><div>South Roof Areas of Damage</div></div><div><div>AD200</div><div>North Elevation Demolition</div></div><div><div>AD201</div><div>North Elevation Front Entry Demolition</div></div><div><div>AD210</div><div>West Elevation Demolition</div></div><div><div>AD220</div><div>South Elevation Demolition</div></div><div><div>AD230</div><div>East Elevation Demolition</div></div><div><div>AD500</div><div>Egress Stair Door & Window Infill Details Demolition</div></div></div> <div><div>Architectural</div><div><div>A131</div><div>Roof Plan Proposed</div></div><div><div>A200</div><div>North Elevation Proposed</div></div><div><div>A201</div><div>North Elevation Front Entry Proposed</div></div><div><div>A210</div><div>West Elevation Proposed</div></div><div><div>A220</div><div>South Elevation Proposed</div></div><div><div>A230</div><div>East Elevation Proposed</div></div><div><div>A500</div><div>Egress Stair Door & Window Infill Details</div></div><div><div>A501</div><div>Proposed Details & Schedules</div></div></div>			<div>OWNER/CLIENT</div> <div>Town of Dunstable</div> <div>511 Main St Dunstable , MA 01827 (978) 649-4514</div>	<div>ARCHITECT</div> <div><div><div>GIENAPP ARCHITECTS</div><div>Begin Here. 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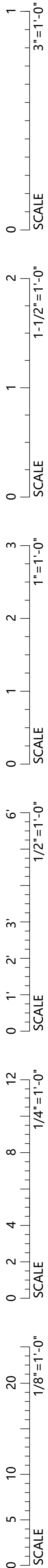
Bid Set

Dunstable Union Building Exterior Restoration

G-1

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Abbreviations

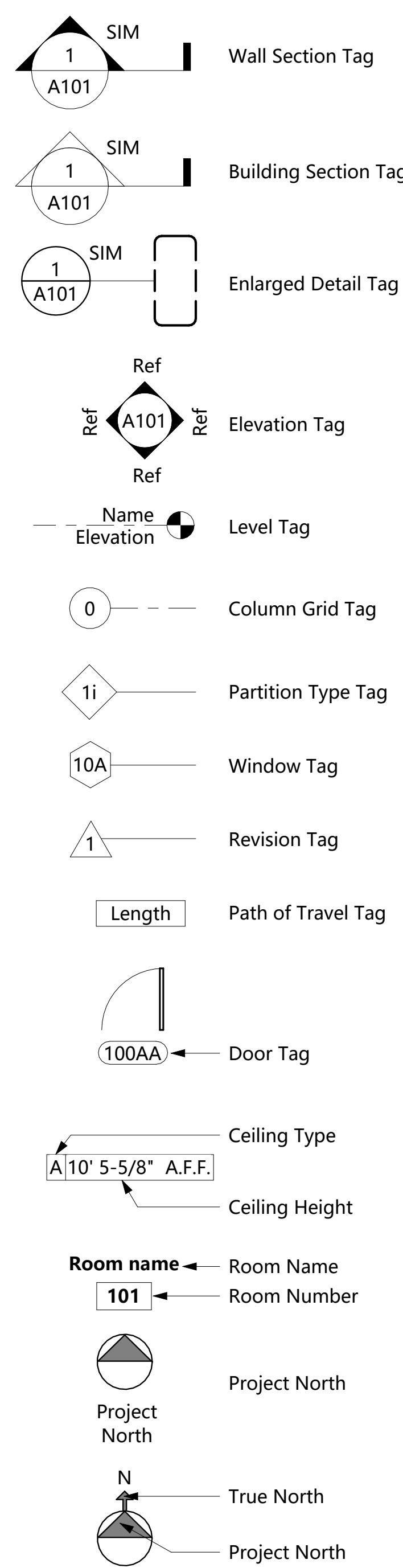
ADJ	Adjustable	FAP	Fibrous Acoustical Panels	LOW	Limit of Work	RNS	Rubber Nailing Strip
AFF	Above Finish Floor	FCP	Fabric Covered Acoustic Panel	LP	Low Point	RO	Rough Opening
ALT	Alternate	FD	Floor Drain	LSG	Linoleum Sheet Goods	RSB	Resilient Straight Base
ALUM	Aluminum	FDVC	Fire Department Valve Connection	LVP	Luxury Vinyl Plank	RTU	Rooftop Unit
ACOUST	Acoustic/Acoustical	FE	Fire Extinguisher			RT	Rubber Tile
AP	Access Panel	FF	Finish Floor	MAR	Marble	RUB	Rubber Flooring
ASB	Asbestos	FFIN	Factory Finish	MAX	Maximum	RVL	Reveal
ATC	Acoustical Tile Ceiling	FH	Fume Hood	MB	Marker Board		
ATHL	Athletic	FHC	Fire Hose Cabinet	MECH	Mechanical	SAFB	Sound Attenuation Fire Batt
AVB	Air and Vapor Barrier	FIN	Finish	MFR	Manufacturer	SCUP	Scupper
		FIB WD	Fibrous Wood	MH	Manhole	SD	Soap Dispenser
BLDG	Building	FLR	Floor	MIN	Minimum	SECT	Section
BLK	Block	FLHD	Flat Head	MR	Mirror	SF	Square Foot
BM	Bench Mark	FLHD MS	Flat Head Machine Screw	MSC	Miscellaneous	SFCMU	Split face CMU
BO	Bottom of	FND	Foundation	MO	Masonry Opening	SFTU	Structural Facing Tile Unit
BR	Backer Rod	FO	Face of	MS	Machine Screw	SGFT	Structural Glazed Face Tile
BR+S	Backer Rod and Sealant	FOF	Face of Foundation	MS	Mop Sink	SHT	Sheet
BRK	Brick	FOM	Face of Masonry	MT	Marble Tile	SIM	Similar
BSMT	Basement	FOS	Face of Stud	MTL	Metal	SK	Sink/Lavatory
		FOW	Face of Window	MTD	Mounted	SP	Station Point
C	Course(s)	FP	Fire Protection			SPEC	Specification
CB	Catch Basin	FR	Fire Rated	NAT	Natural Finish	SRB	Straight Resilient Base
CBB	Cementitious Backerboard	FRP	Fiberglass Reinforced Glass Panel	ND	Feminine Napkin Dispenser	SS	Stainless Steel
CH	Coat Hook	FTR	Finned Tube Radiator	NGMB	Non-Glare Marker Board	SSF	Synthetic Sports Flooring
CHT	Changing Table	FURN	Furnish/Furnished	NIC	Not in Contract	STC	Sound Transmission Class
CJ	Control Joint	FWP	Fibrous Wood Panel	NO	Number	STD	Standard/Stud
CL	Center Line			NRC	Noise Reduction Coefficient	STL	Steel
CLSRM	Classroom	GA	Gauge	NTS	Not to Scale	STLP	Steel Linear Panel
CLG	Ceiling	GALV	Galvanized			STR	Stair
CLR	Clear	GB	Grab Bar	OC	On center	STRUCT	Structure(al)
CM	Construction Manager	GC	General Contractor	OD	Outside Diameter	SUSP	Suspended
CMP	Composite Metal Panel	GFCMU	Ground Face CMU	OHD	Overhead Door	SYS	System
CMU	Concrete Masonry Unit	GFI/GFCI	Ground Fault Circuit Interrupter	OHFD	Overhead Folding Door	SCI	Science
COL	Column	GFRG	Glass Fiber Reinforced Gypsum	OHRD	Overhead Rolling Door		
COMP	Compressable	GL	Glass	OHRG	Overhead Rolling Grille	T	Tread
CONC	Concrete	GLCMU	Glazed Face CMU	OPG	Opening	T	Tempered
CONT	Continuous	GYP	Gypsum	OPP	Opposite	TB	Tackboard
CPT	Carpet	GWB	Gypsum Wall Board	ORD	Overflow Drain	TDF	Transparent Dye Finish
CR	Card Reader	GWB/AR	GWB; Abuse Resistant			TERR	Terrazzo
CRD	Cementitious Roof Deck	GWF	Glazed Wall Finish	PLAM	Plastic Laminate	T&G	Tongue and Groove
CT	Ceramic Tile			PCF	Pre-molded Compressible Filler	TI	Tapered Insulation
CTB	Ceramic Tile Base	H	High	PFC	Preformed Cladding	TO	Top of
CU FT	Cubic Foot	HD	Hand Dryer	PL	Plate	TOP	Top of Partition
CUH	Cabinet Unit Heater	HDW	Hardware	PLAS	Plaster	TP	Toilet Paper Dispenser
CUYP	Cubic Yard	HDWD	Hardwood	PLYWD	Plywood	TS	Structural Tube Steel
CVR	Cover	HM	Hollow Metal	PM	Pressed Metal	TYP	Typical
CW	Curtain Wall	HORZ	Horizontal	PNL	Panel		
		HP	High Point/Handicapped	PORC	Porcelain Tile	UCD	Undercut Door
DEMO	Demolition	HPC	High Performance Coating	PR	Pair	UON	Unless Otherwsie Noted
DF	Drinking Fountain	HR	Hour	PREFAB	Prefabricated	USS	Underside of Structure
DIM	Dimension	HVC	Hose Valve Cabinet	PREFIN	Prefinished	UTIL	Utility/ Utilities
DN	Down			PSF	Pounds per Square Foot	UV	Unit Ventilator
DO	Door Opening	IBC	International Building Code	PSI	Pounds per Square Inch	UR	Urinal
DR(s)	Door(s)	IECC	International Energy Conservation Code	PT	Pressure Treated		
DS	Down Spout			PT	Paper Towel Dispenser	VCB	Vented Cove Base
DTL	Detail	ID	Inside Diameter	PTD	Painted	VCP	Vitreous Clay Pipe
DWG(s)	Drawing(s)	INCL	Include	PTN	Partition	VCT	Vinyl Composite Tile
		INST	Install/Installed	PVC	Polyvinyl Chloride	VERT	Vertical
EA	Each	INSUL	Insulation	PTT	Precast Terrazzo Tile	VIF	Verify in Field
EJ	Expansion Joint	INT	Interior			VSF	Vinyl Sheet Flooring
EL	Elevation Height	INV	Invert	QT	Quarry Tile	VTR	Vent Through Roof
ELEC	Electric/Electrical					VWC	Vinyl Wall Covering
ELEV	Elevator	J	Jamb	R	Riser		
EMERG	Emergency	JT	Joint	RAD	Radius	W	Wide
EOD	Edge of Deck			RCB	Resilient Cove Base	w/, w/o	With/Without
EOS	Edge of Slab	KD	Knock Down	RCP	Reflected Ceiling Plan	WB	Wood Base
EQ	Equal	KO	Knock Out	RD	Roof Drain	WC	Water Closet
EQUIP	Equipment	KIT	Kitchen	REINF	Reinforced	WD	Wood
ETBR	Existing to be Removed	KP	Kickplate	REQD	Required	WMP	Wire Mesh Partition
ETR	Existing to Remain			RES	Resinous Flooring	WO	Window Opening
EXIST	Existing	L	Low	RHMS	Round Head Metal Screw	WP	Working Point
EXP	Exposed	LCC	Lead Coated Copper	RM	Room	WR	Waste Receptacle
EXT	Exterior	LGMF	Light Gauge Metal Framing			WWF	Welded Wire Fabric
		LCT	Linoleum Composite Tile			WWM	Welded Wire Mesh

General Demolition Notes

Demolition General Notes

- The owner shall remove all non-fixed salvage items prior to demolition. Contractor shall coordinate with owner prior to demolition regarding fixed items to be turned over to the owner as salvaged items.
- Protect all existing building components which are to remain. Repair any damaged areas as required to return them to their original condition.
- Provide temporary protection and weather tight enclosure where exterior enclosure items (doors, walls, windows, roofing, skylights) have been removed.
- Contractor to notify Architect and Owner if materials containing hazardous materials are encountered.
- Conform to applicable regulatory procedures when discovering hazardous or contaminated materials.
- Conform to applicable code for demolition of structures, safety of adjacent structures, dust control, and disposal of materials.
- Notify affected utility companies before starting work, and comply with their requirements.
- Demolish existing work in an orderly and careful manner as required to accommodate new work. Prevent movement or settlement of structure. Provide bracing and/or shoring as required to maintain safety.
- Coordinate all demolition work with owner as necessary.
- Contractor to provide and install all temporary means of egress, temporary lighting, and safety devices in accordance with state and local codes.
- Contractor is responsible for maintaining the fire rating and integrity of existing walls and ceilings.
- All fireproofing at structural elements shall remain UNO. Any fireproofing removed and/or damaged during the course of demolition and subsequent construction shall be replaced with the same materials and rating as that which was removed at the Contractor's expense.
- Demolition Contractor shall coordinate all mechanical, electrical, and plumbing demolition work with plans prior to the commencement of any work and coordinate his work with the General Contractor and other sub-contractors as necessary.
- All mechanical, electrical, and plumbing fixtures, equipments and/or devices scheduled to be removed shall be disconnected at the source, unless noted or directed otherwise. Coordinate all work with mechanical, electrical, and plumbing plans.
- Contractor to coordinate the removal, disconnection, and/or capping of any utilities with owner as necessary.
- Electrical Contractor shall disconnect and remove all (E) electrical and telephone outlets and all associated wires in walls scheduled to be removed and terminated at the last outlet that remains in service.
- All empty or abandoned conduit and junction boxes to be removed back to its source.
- Removal and capping of plumbing fixtures to be coordinated per plan and with General Contractor to maintain required minimum usage during construction (when applicable).

Symbol Legend



General Notes

Project Information

- All work shall conform with all applicable Codes and ordinances and with accepted local standards of the trades.
- Only the highest quality of workmanship shall be considered acceptable and shall be firmly secured and relative to elevations and dimensions as shown in the drawings true to plumb, level, square, and line.
- The Contractor shall report any and all discrepancies or omissions found in the Drawings and Specifications to the Architect. The Work affected shall not proceed until clarification is issued or permission to continue is provided.
- Items noted "Not In Contract", "N.I.C.", "By [Separate] Vendor", "By [Separate] Contractor", or "By Owner" are to be neither furnished nor installed under this Contract unless noted otherwise, but are shown for informational purposes only. It is the responsibility of the Contractor to coordinate with separate vendors and contractors to complete the work of this project.
- The Contractor shall be responsible for coordinating all aspects of the Work and shall inform the Owner of their work schedule and any anticipated changes that may occur in it.
- The Contractor shall place orders for all materials included in the Work by General Contractor or Subcontractor (where applicable) in time to prevent any delays in the construction schedule or completion of the Work unless noted otherwise.
- The Contractor shall not proceed with any work which they believe to be contrary to their knowledge of good construction standards and practices and shall not use any sub-standard materials.
- The Contractor shall be expected to inspect the site for conditions affecting work and for anticipating the effects of those conditions upon their work.
- Minor details not usually shown or specified, but necessary for the proper installation or conformance with Codes or standards listed herein, shall be included in the Work.
- The Contract Documents represent the finished structure and do not indicate the methods of construction unless specifically noted otherwise. The Contractor shall supervise and direct the Work and shall be solely responsible for construction means, methods, techniques, sequences, and procedures.
- Each trade shall coordinate its work as is practical and will interfere as little as possible with the work of other trades and persons. It will be assumed that each trade has accepted the quality of the work of others upon which his work must be applied.

Dimensions, Measurements, and Layout

- Dimensions shall take precedence over graphic representations. Scaling of the drawings for dimensions or locations of materials or equipment is considered unacceptable.
- Larger scale drawings take precedence over smaller scale drawings.
- Notes and details on Drawings shall take precedence over these General Notes and Typical Details. Written Specifications take precedence over graphic representation of materials and items as well as their locations.
- All dimensions are to finish materials unless noted otherwise.**
- Dimensions to side or center of doors or windows are to finish openings unless noted otherwise.
- The Contractor shall be responsible for locating and laying out the Work (including elevations). The Contractor shall exercise proper precaution to verify figures shown on the Drawings while laying out the Work, and be responsible for all errors resulting from failure to exercise such precaution.



20 Conant Street
Danvers, MA 01923
9 7 8 - 7 5 0 - 9 0 6 2
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Dunstable Union Building
Exterior Restoration
Bid Set
522 Main Street, Dunstable, MA 01827

Plot Date: 3/7/2025 1:56:09 PM

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No.	Date	Description
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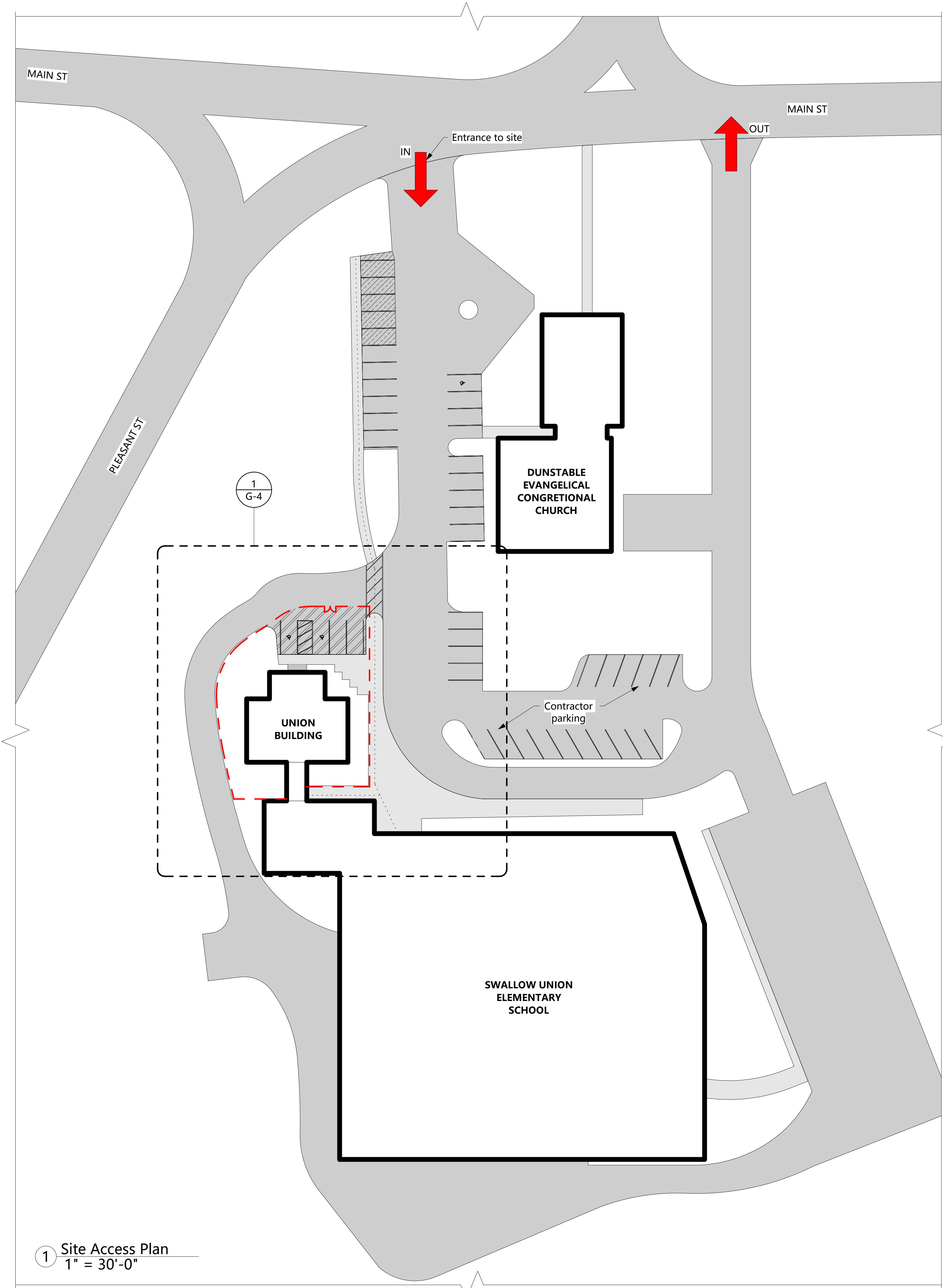
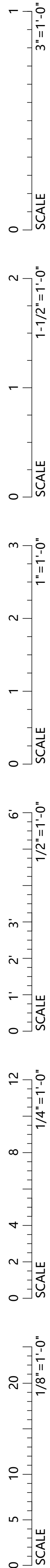
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Drawn by: EA
Check by: MN
Date: 3/12/25
Scale: As indicated

General Notes

G-2

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1 Site Access Plan
1" = 30'-0"

Legend

Contractor access, parking, & storage

Maintain pedestrian path

Existing vehicular roadway

Existing pedestrian walkway

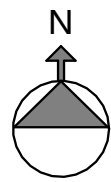
Contractor parking

Contractor laydown area

Existing tree

Existing shrub

Note:
Refer to spec section 01 5000 (typ.)



GIENAPP ARCHITECTS

Begin Here. Finish Well.

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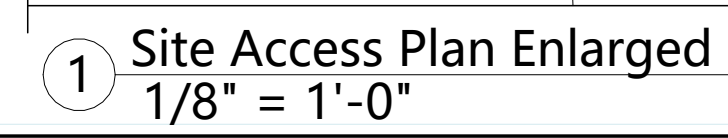
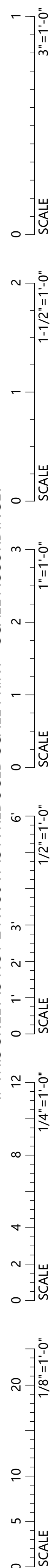
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No.	Date	Description


Project: 825.1
Drawn by: EA / SS
Check by: MN
Date: 3/12/25
Scale: As indicated

Contractor Site
Access Plan

G-3



Graphic Scale: 1/8 inch = 1 foot

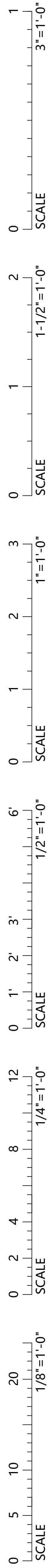


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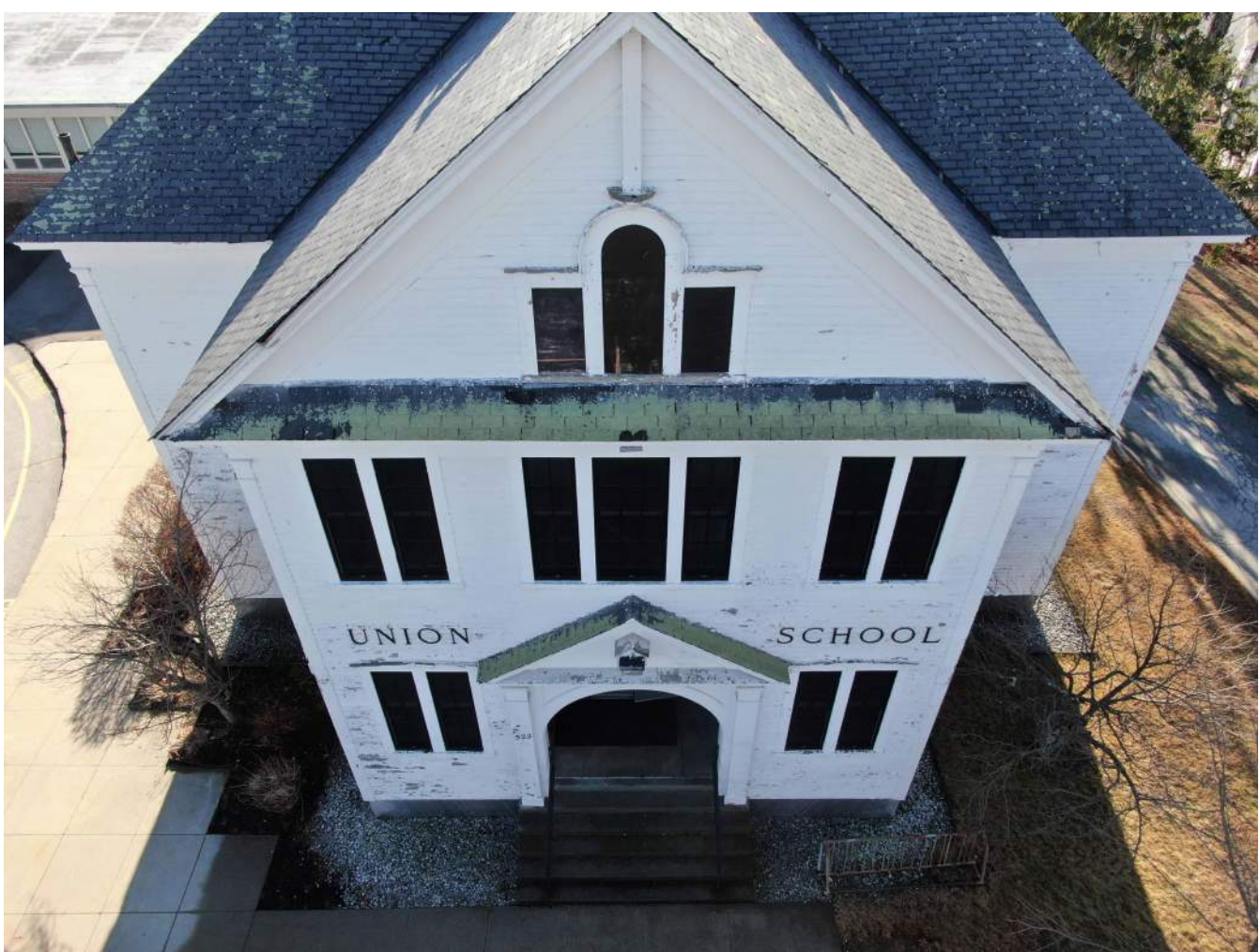
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1 Front View



2 North Facade



3 Palladian Window



4 Rake Return



5 Northeast Corner



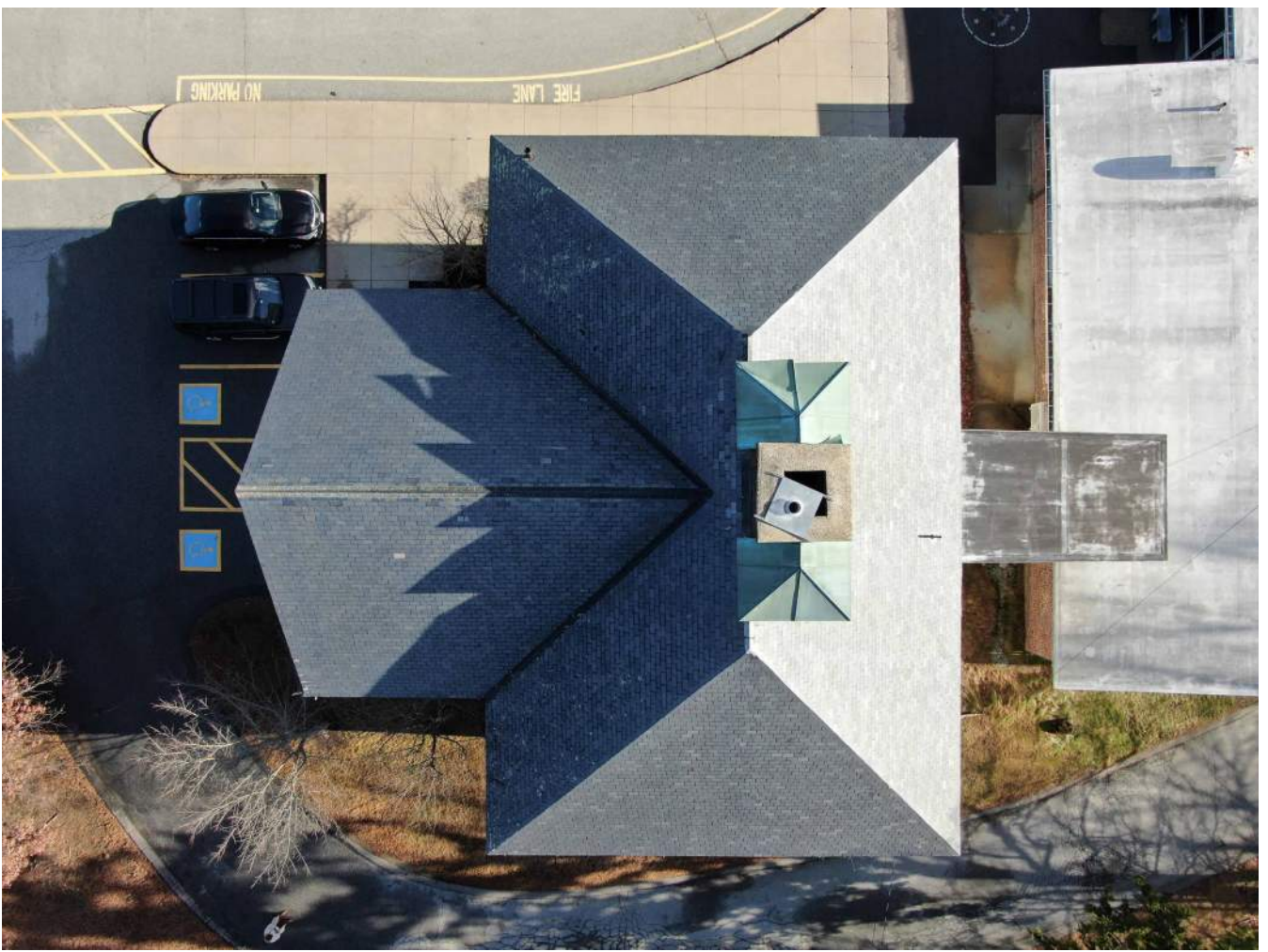
6 Southwest Corner



7 Southeast Corner



8 Northwest Corner



9 Roof Top View



10 Chimney South Face



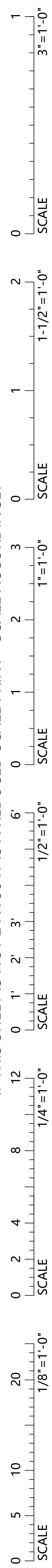
11 Mechanical Vent Hood



12 Egress Stair/Connector

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1 Window Example



4 Soffit Example



2 Trim Example



5 Siding Detail Example



3 Molding Example

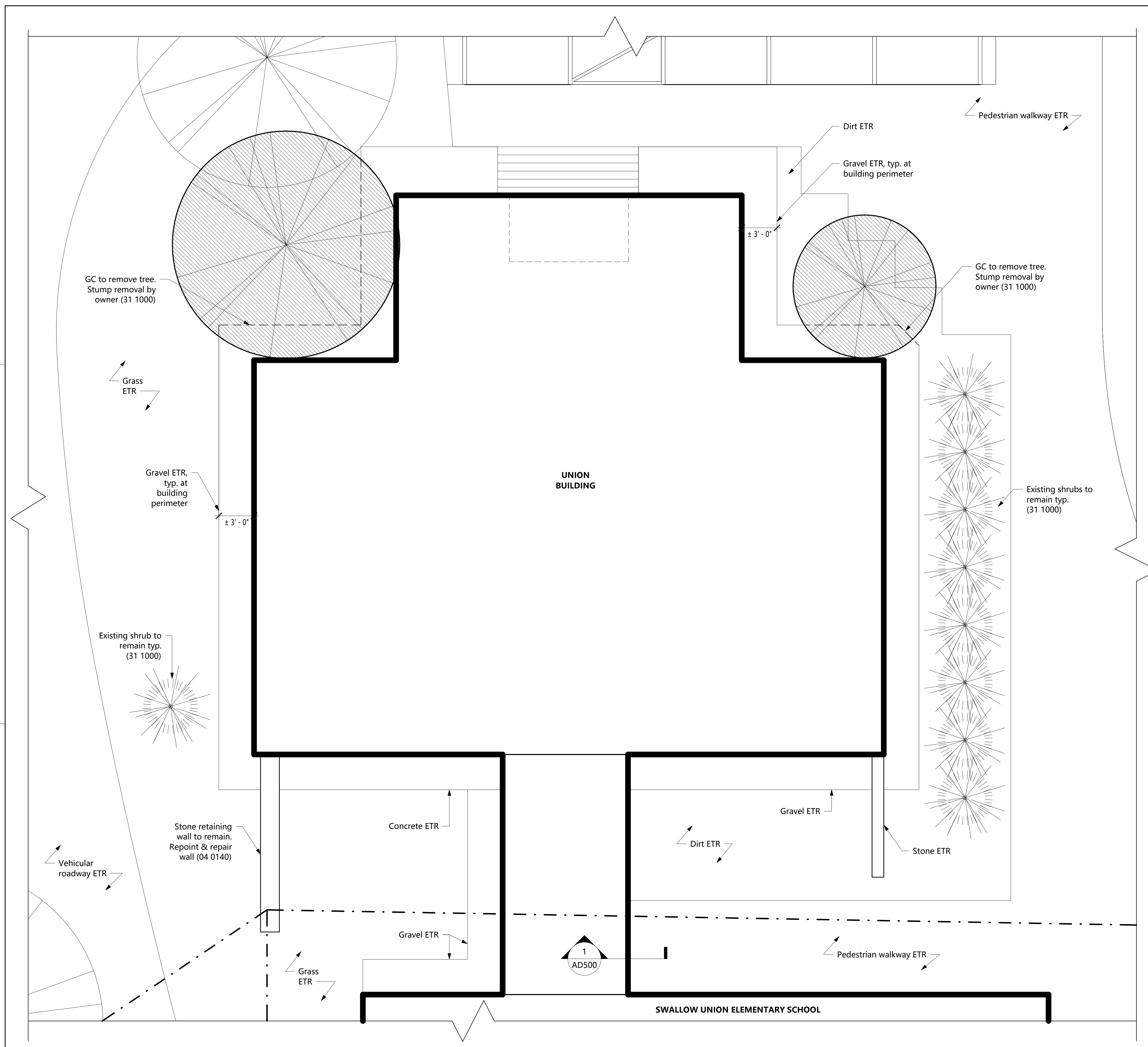


6 Siding Example


No.	Date	Description

Project:	825.1
Drawn by:	EA / SS
Check by:	MN
Date:	3/12/25
Scale:	3/16" = 1'-0"

Existing Photos



Graphic Scale: 1/4 inch = 1 foot



0 4' 8' 12' 16'

N



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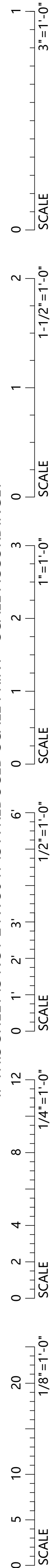
No.	Date	Description
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Site Demolition Plan

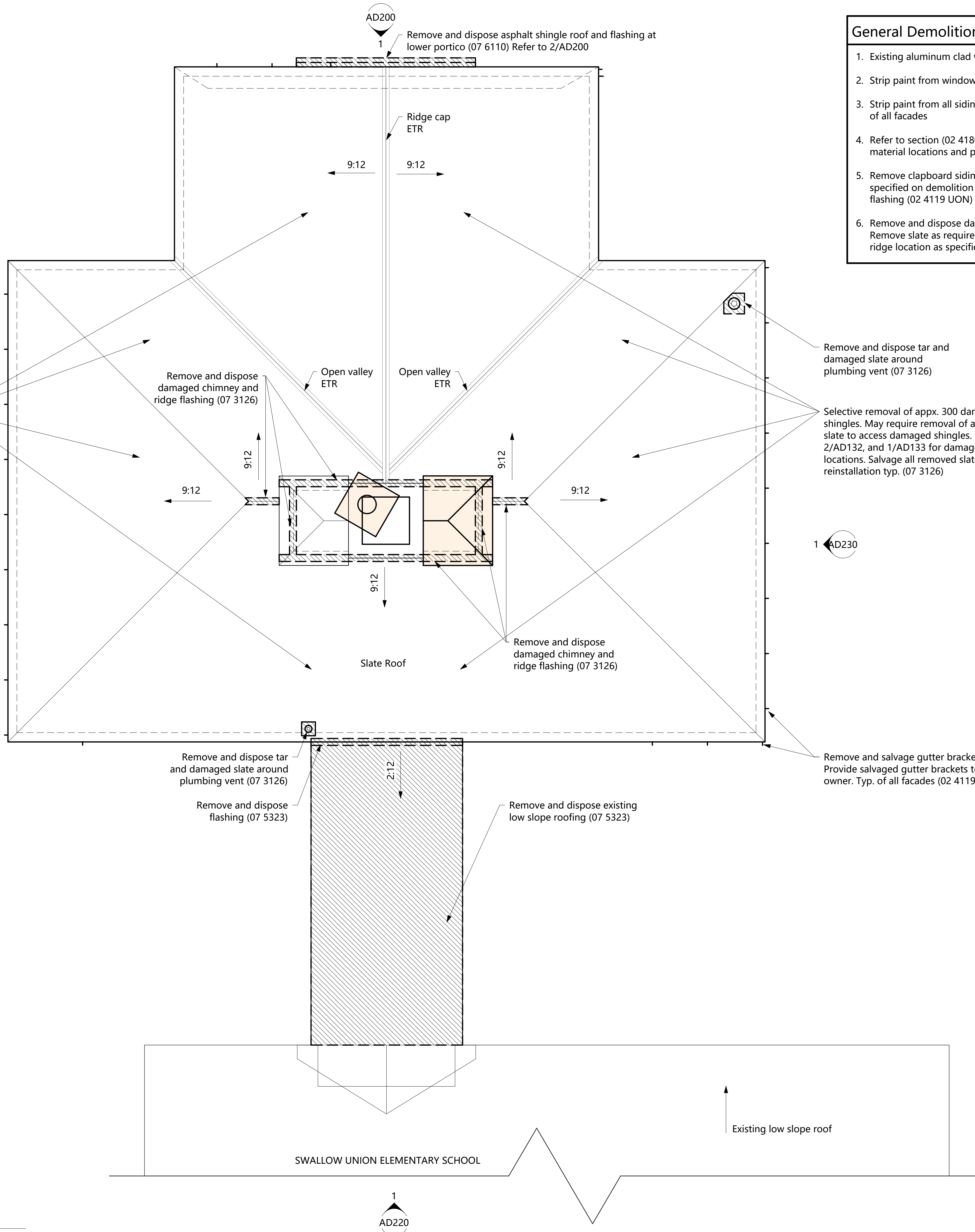
AD101

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1 Roof Demolition Plan
1/4" = 1'-0"



General Demolition Notes

1. Existing aluminum clad window sashes ETR.
2. Strip paint from window trims (09 9500) Typical of all windows
3. Strip paint from all siding, trim, and moldings (09 9500) Typical of all facades
4. Refer to section (02 4180) and (09 9500) for identified hazardous material locations and procedures for remediation.
5. Remove clapboard siding as required to replace flashing at areas specified on demolition plans. Remove and dispose existing flashing (02 4119 UON)
6. Remove and dispose damaged chimney and ridge flashing typ. Remove slate as required to replace flashing at chimney and ridge location as specified on demolition plans (07 3126)

Demolition Legend

- Item to be removed and disposed
- Item to be removed and salvaged
- Item to remain and be repaired in place (see proposed sheets for notes)
- Item exist to remain
- Corresponding photo tag
- Single tight dash lines indicate hidden elements (not items to be removed)


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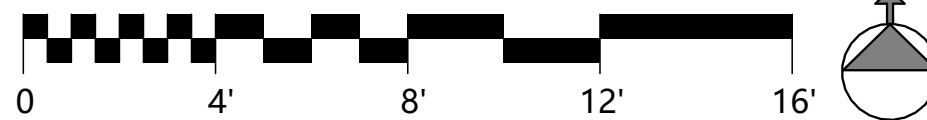
No.	Date	Description
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Project: 825.1
Drawn by: EA / SS
Check by: MN
Date: 3/12/25
Scale: As indicated

Roof
Demolition Plan

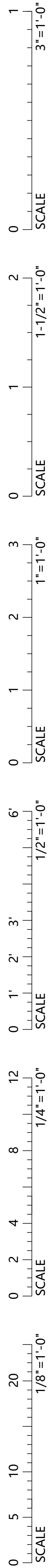
AD131

Graphic Scale: 1/4 inch = 1 foot



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① North Roof Areas of Damage
1/8" = 1'-0"



② East and West Roof Areas of Damage
1/8" = 1'-0"

Demolition Legend

 Appx. 300 damaged slate roof shingles and selective roof accessories. Slate shingles to be removed and salvaged for reinstallation (07 3126). Roof accessories to be repaired in place.

Note:
See 1/AD131 for Roof Demolition Plan.
See 1/A131 for Proposed Roof Plan.



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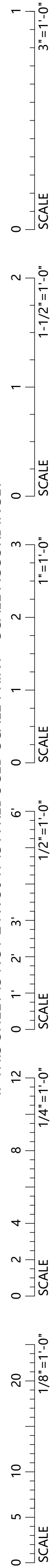
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Drawn by: EA / SS
Check by: MN
Date: 3/12/25
Scale: As indicated

North, East, and
West Roof
Areas of
Damage

AD132

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Demolition Legend

Appx. 300 damaged slate roof shingles and selective roof accessories. Slate shingles to be removed and salvaged for reinstallation (07 3126). Roof accessories to be repaired in place.

Note:
See 1/AD131 for Roof Demolition Plan.
See 1/A131 for Proposed Roof Plan.



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Scale: As indicated

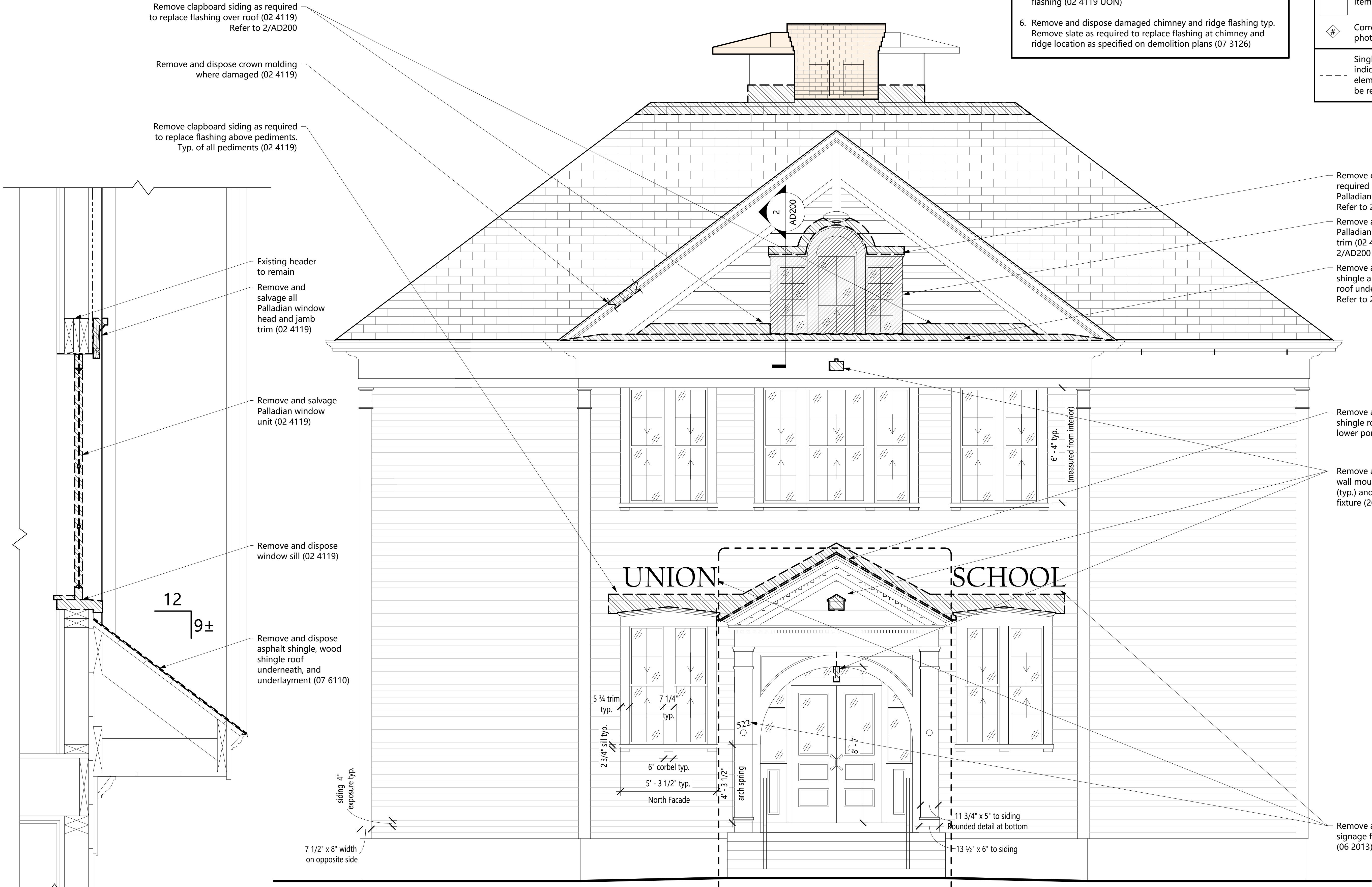
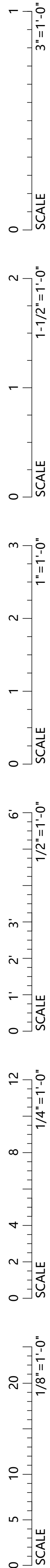
South Roof
Areas of
Damage

AD133

1 South Roof Areas of Damage
1/8" = 1'-0"

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② Copper Roof Demolition Detail
1 1/2" = 1'-0"

① North Elevation Demolition
3/8" = 1'-0"

General Demolition Notes

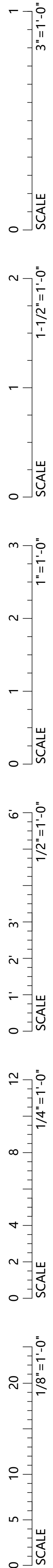
1. Existing aluminum clad window sashes ETR.
2. Strip paint from window trims (09 9500) Typical of all windows
3. Strip paint from all siding, trim, and moldings (09 9500) Typical of all facades
4. Refer to section (02 4180) and (09 9500) for identified hazardous material locations and procedures for remediation.
5. Remove clapboard siding as required to replace flashing at areas specified on demolition plans. Remove and dispose existing flashing (02 4119 UON)
6. Remove and dispose damaged chimney and ridge flashing typ. Remove slate as required to replace flashing at chimney and ridge location as specified on demolition plans (07 3126)

Demolition Legend

- Item to be removed and disposed
- Item to be removed and salvaged
- Item to remain and be repaired in place (see proposed sheets for notes)
- Item exist to remain
- Corresponding photo tag
- Single tight dash lines indicate hidden elements (not items to be removed)

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1 Portico Side View



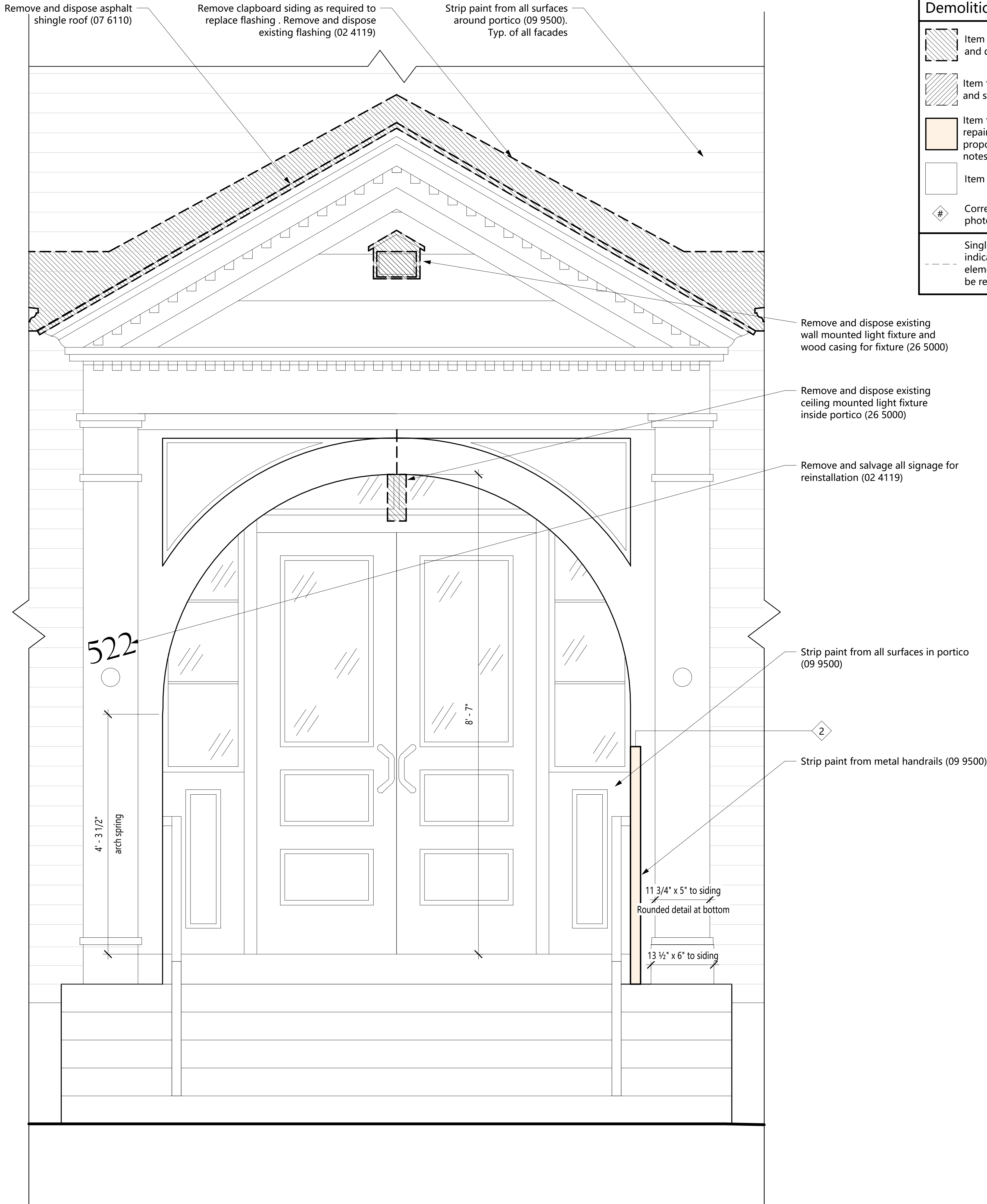
2 Portico Railing Connection



3 Portico Front View



4 Portico Bead board Ceiling



5 North Elevation Front Entry Demolition
1" = 1'-0"

No.	Date	Description

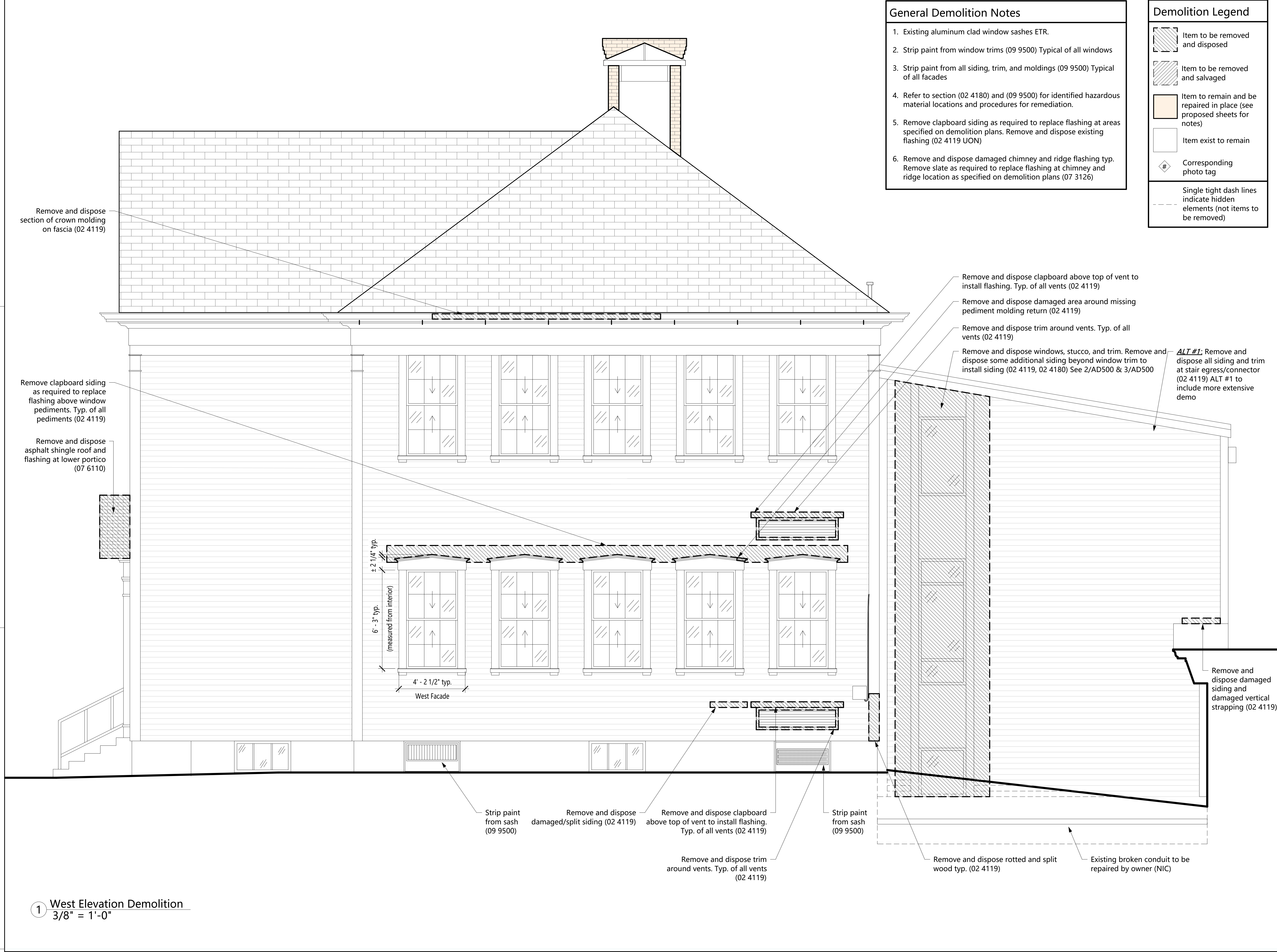
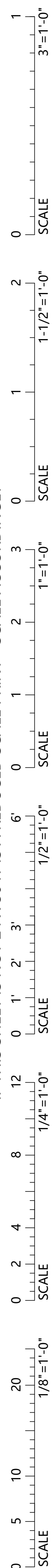
Project:	825.1
Drawn by:	EA
Check by:	MN
Date:	3/12/25
Scale:	As indicated

**North Elevation
Front Entry
Demolition**

AD201

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- General Demolition Notes**
- Existing aluminum clad window sashes ETR.
 - Strip paint from window trims (09 9500) Typical of all windows
 - Strip paint from all siding, trim, and moldings (09 9500) Typical of all facades
 - Refer to section (02 4180) and (09 9500) for identified hazardous material locations and procedures for remediation.
 - Remove clapboard siding as required to replace flashing at areas specified on demolition plans. Remove and dispose existing flashing (02 4119 UON)
 - Remove and dispose damaged chimney and ridge flashing typ. Remove slate as required to replace flashing at chimney and ridge location as specified on demolition plans (07 3126)

Demolition Legend

- Item to be removed and disposed
- Item to be removed and salvaged
- Item to remain and be repaired in place (see proposed sheets for notes)
- Item exist to remain
- Corresponding photo tag
- Single tight dash lines indicate hidden elements (not items to be removed)


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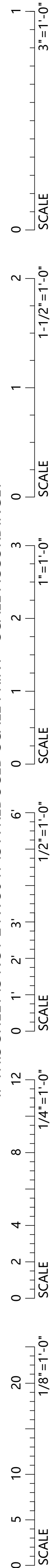
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West Elevation Demolition

AD210

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Remove and dispose
damaged area around
missing siding and
clapboard siding as
required to replace
flashing where egress
stair/connector roof
meets south facade
(02 4119)

Remove and dispose
section of crown molding
on fascia (02 4119)

Remove and dispose
disconnected conduit
(26 5000)

Remove clapboard siding
as required to replace
flashing above door heads
and above window
pediments. Typ. of all
pediments (02 4119)

Remove and dispose door
and trim (02 4119)

7'-1 1/2" siding drop



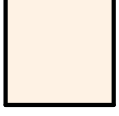
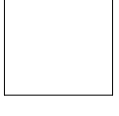

Remove and dispose trim around
door (02 4119). Door ETR

① South Elevation Demolition
3/8" = 1'-0"

General Demolition Notes

- Existing aluminum clad window sashes ETR.
- Strip paint from window trims (09 9500) Typical of all windows
- Strip paint from all siding, trim, and moldings (09 9500) Typical of all facades
- Refer to section (02 4180) and (09 9500) for identified hazardous material locations and procedures for remediation.
- Remove clapboard siding as required to replace flashing at areas specified on demolition plans. Remove and dispose existing flashing (02 4119 UON)
- Remove and dispose damaged chimney and ridge flashing typ. Remove slate as required to replace flashing at chimney and ridge location as specified on demolition plans (07 3126)

Demolition Legend

-  Item to be removed and disposed
-  Item to be removed and salvaged
-  Item to remain and be repaired in place (see proposed sheets for notes)
-  Item exist to remain
-  Corresponding photo tag
- Single tight dash lines indicate hidden elements (not items to be removed)

2
AD220

Remove and dispose bottom
course of damaged lap siding
(02 4119)

② Stair Addition - South Elevation Demolition
3/8" = 1'-0"

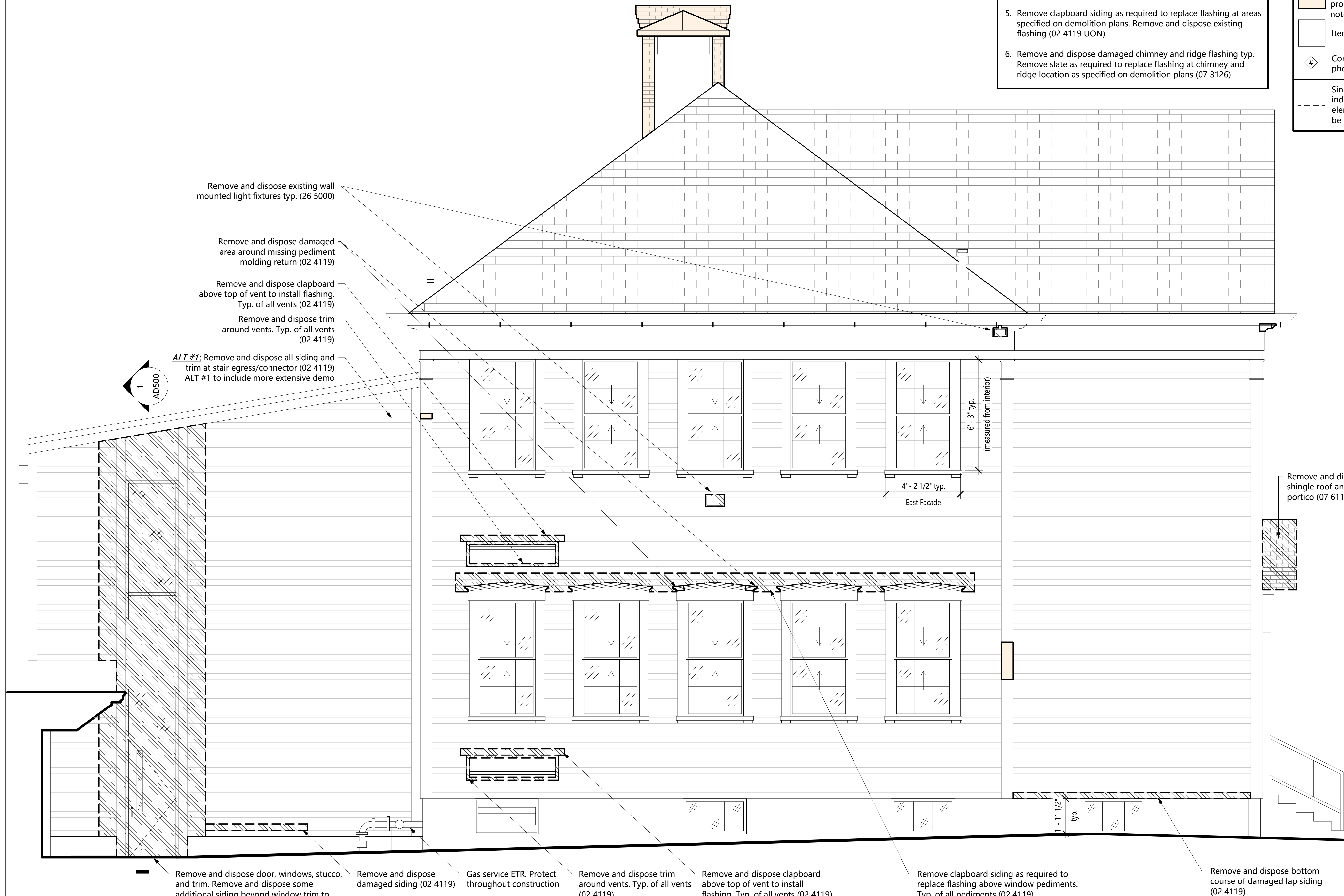
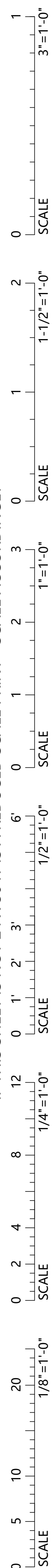
Remove and dispose
damaged siding
(02 4119)

ALT #1; Remove and
dispose all siding and trim
at stair egress/connector
(02 4119) ALT #1 to
include more extensive
demo

Remove clapboard
siding as required to
replace flashing where
egress stair/connector
roof meets south
facade (02 4119)

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1 East Elevation Demolition
3/8" = 1'-0"

- General Demolition Notes**
- Existing aluminum clad window sashes ETR.
 - Strip paint from window trims (09 9500) Typical of all windows
 - Strip paint from all siding, trim, and moldings (09 9500) Typical of all facades
 - Refer to section (02 4180) and (09 9500) for identified hazardous material locations and procedures for remediation.
 - Remove clapboard siding as required to replace flashing at areas specified on demolition plans. Remove and dispose existing flashing (02 4119 UON)
 - Remove and dispose damaged chimney and ridge flashing typ. Remove slate as required to replace flashing at chimney and ridge location as specified on demolition plans (07 3126)

Demolition Legend

- Item to be removed and disposed
- Item to be removed and salvaged
- Item to remain and be repaired in place (see proposed sheets for notes)
- Item exist to remain
- Corresponding photo tag
- Single tight dash lines indicate hidden elements (not items to be removed)

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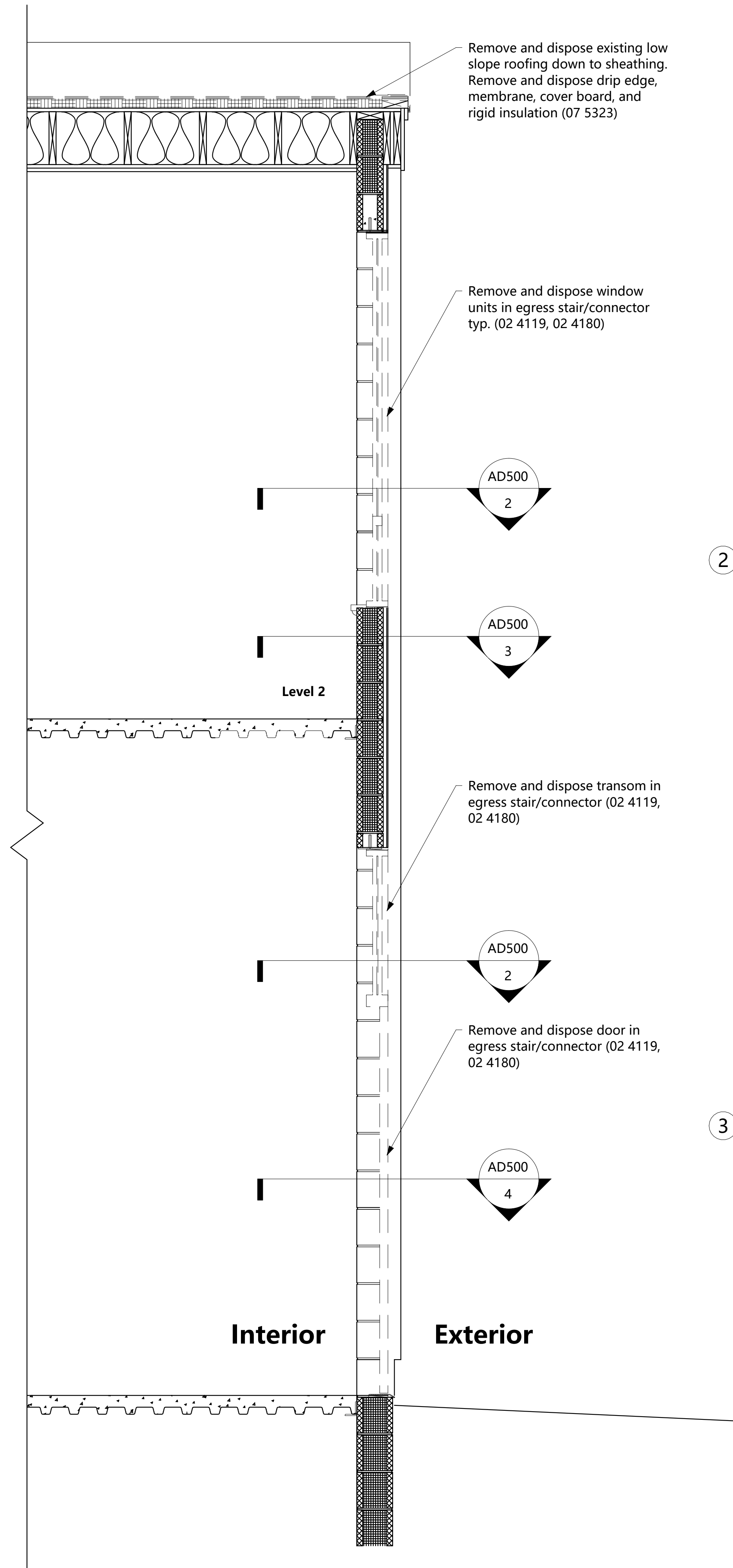
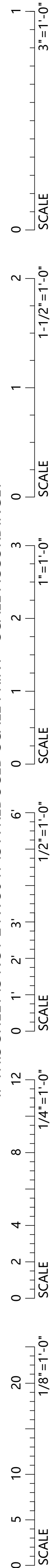
No.	Date	Description
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Drawn by:	EA	
Check by:	MN	
Date:	3/12/25	
Scale:	As indicated	

**East Elevation
Demolition**

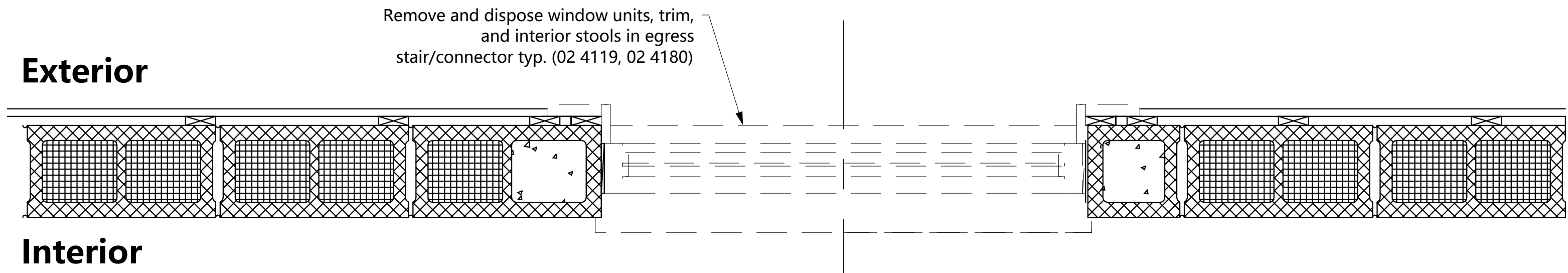
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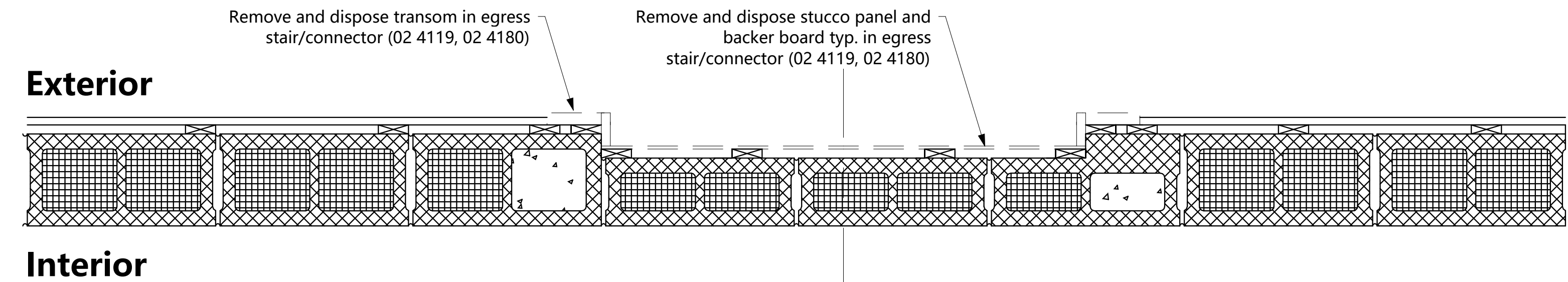
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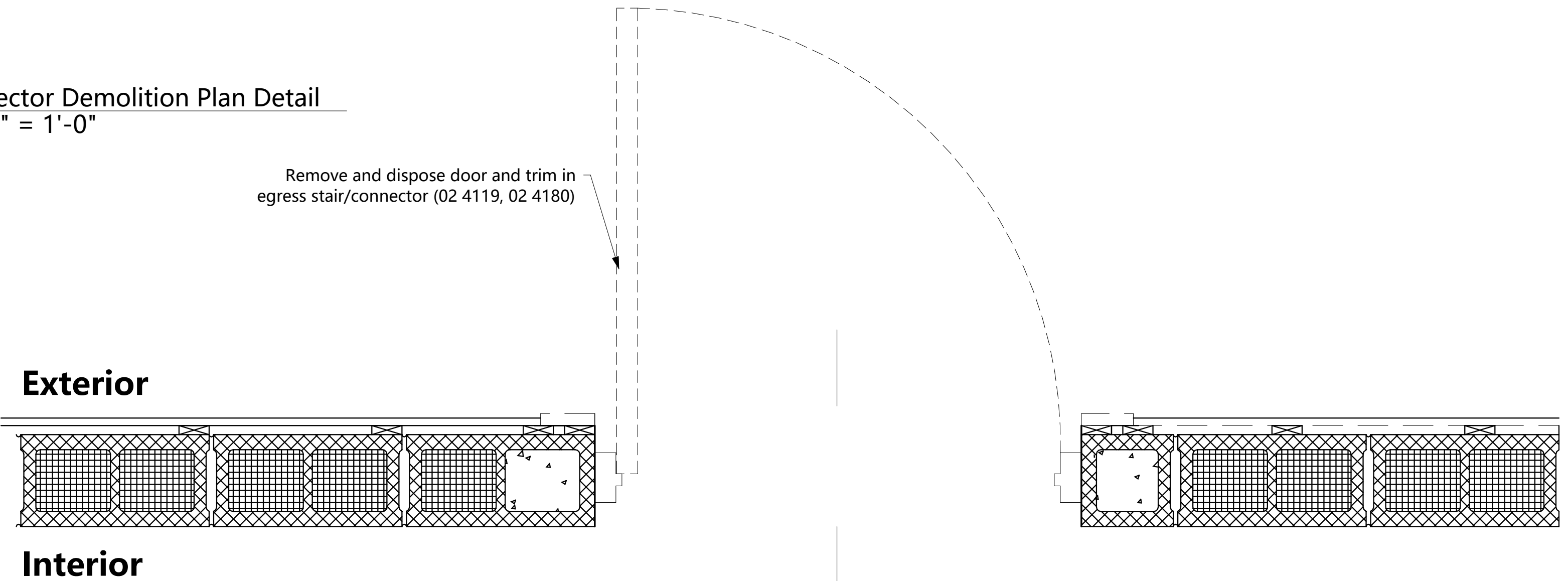
1 Egress Stair/Connector Door & Window Infill Demolition Section
3/4" = 1'-0"



2 Connector Window Demolition Plan Detail
1 1/2" = 1'-0"



3 Connector Demolition Plan Detail
1 1/2" = 1'-0"



4 Connector Door Demolition Plan Detail
1 1/2" = 1'-0"

Note: Refer to ALT #1 for more extensive demo scope of work

No.	Date	Description

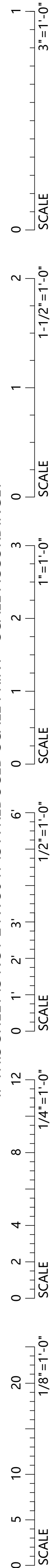
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Drawn by:	EA
Check by:	MN
Date:	3/12/25
Scale:	As indicated

Egress Stair
Door & Window
Infill Details
Demolition

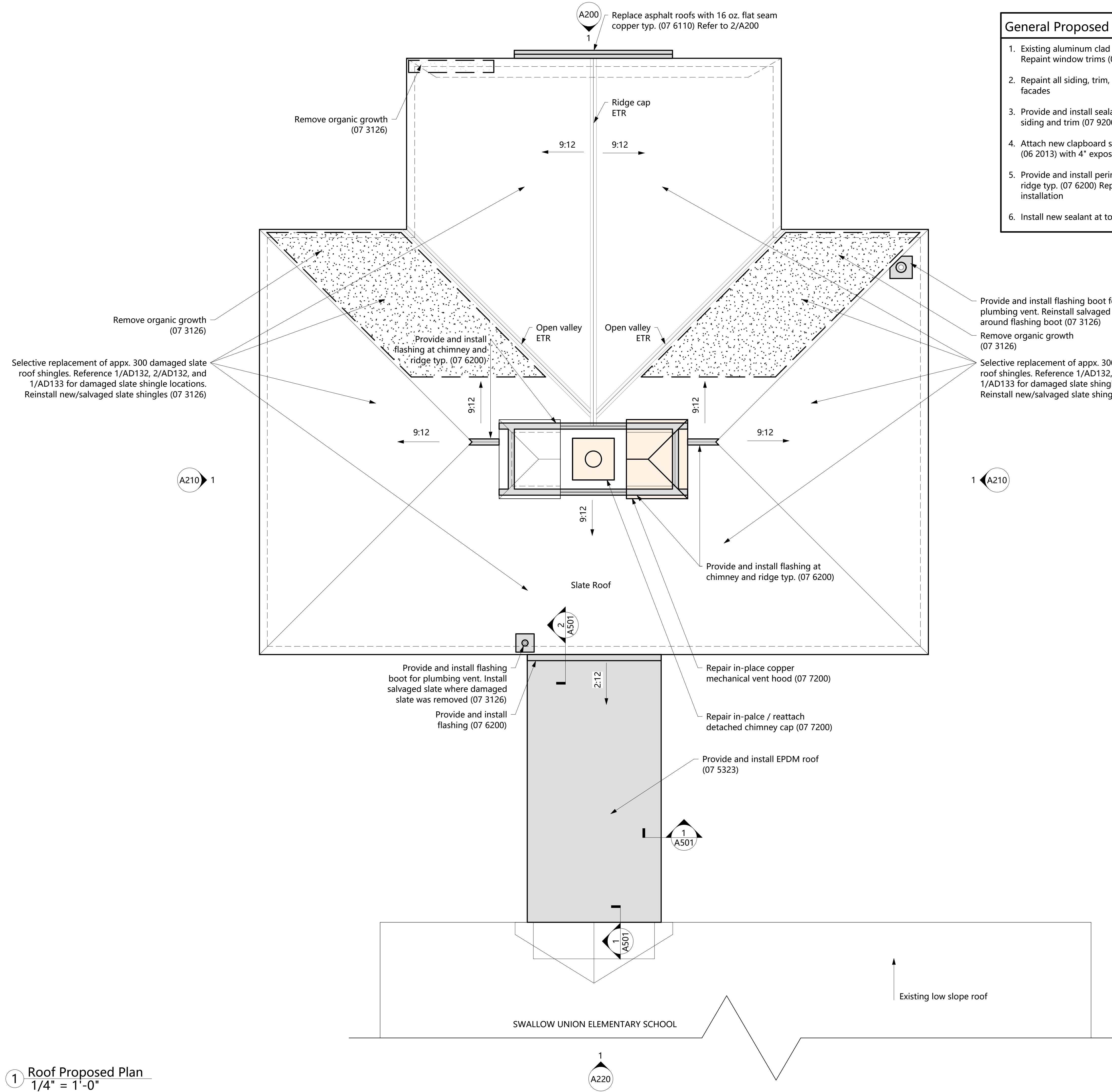
AD500

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1 Roof Proposed Plan
1/4" = 1'-0"



- ### General Proposed Notes
- Existing aluminum clad window sashes do not require painting. Repaint window trims (09 9113)
 - Repaint all siding, trim, and molding (09 9113). Typical of all facades
 - Provide and install sealant at all penetrations through wood siding and trim (07 9200)
 - Attach new clapboard siding with stainless steel fasteners (06 2013) with 4" exposure. Align new clapboards with existing
 - Provide and install perimeter edge flashing at chimney and ridge typ. (07 6200) Replace slate where removed for flashing installation
 - Install new sealant at top of flashing typ. (07 9200)

- ### Proposed Plan Legend
- Indicates area where new item(s) are to be provided and installed
 - Indicates area where salvaged item(s) are to be reinstalled
 - Indicates area where item(s) are to be repaired in place
 - Indicates areas of organic growth to be removed
 - Indicates items that exist to remain



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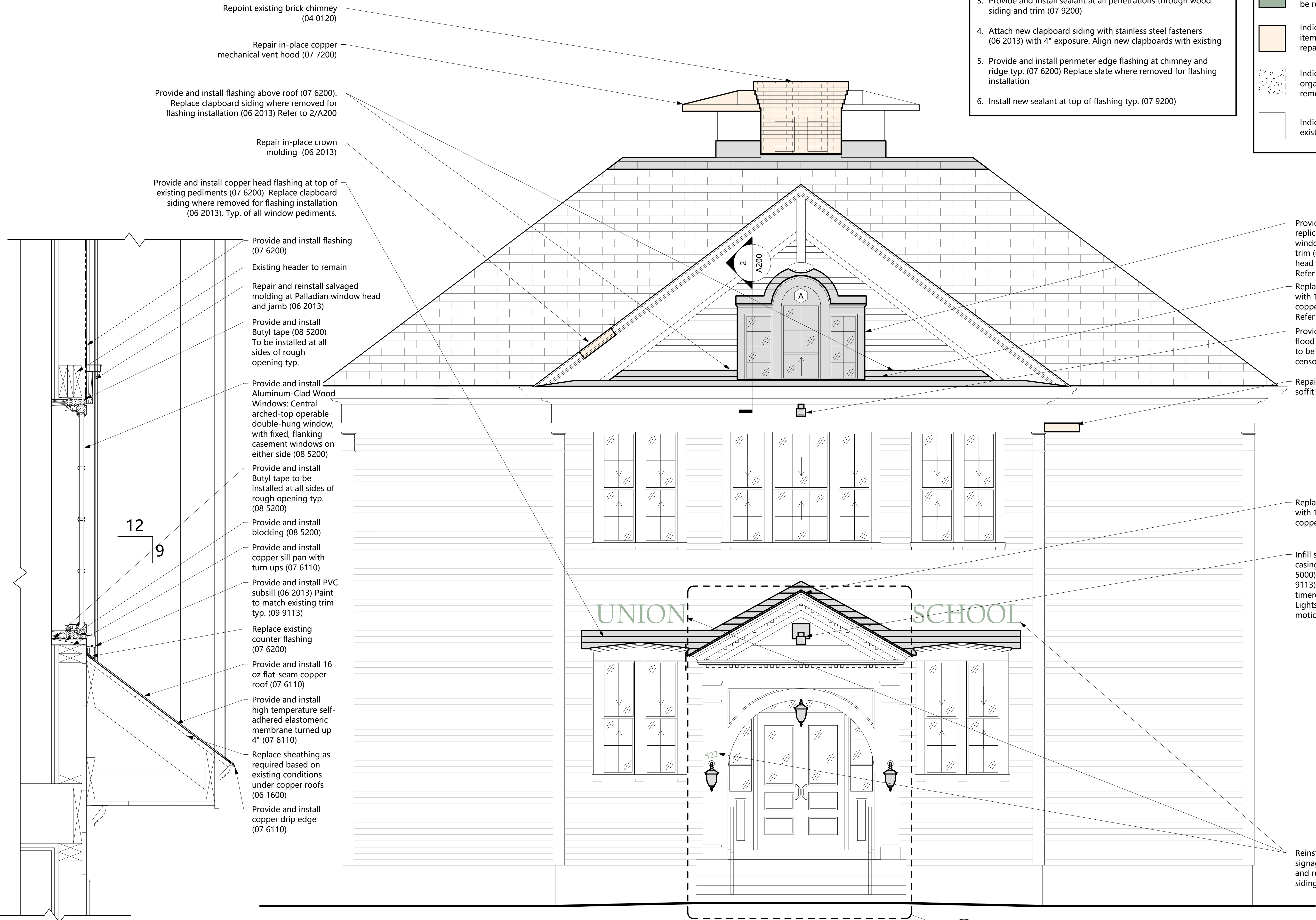
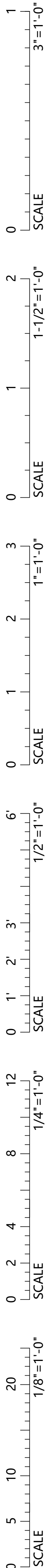
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Drawn by: EA / SS
Check by: MN
Date: 3/12/25
Scale: As indicated

**Roof Plan
Proposed**

A131

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General Proposed Notes

- Existing aluminum clad window sashes do not require painting. Repaint window trims (09 9113)
- Repaint all siding, trim, and molding (09 9113). Typical of all facades
- Provide and install sealant at all penetrations through wood siding and trim (07 9200)
- Attach new clapboard siding with stainless steel fasteners (06 2013) with 4" exposure. Align new clapboards with existing
- Provide and install perimeter edge flashing at chimney and ridge typ. (07 6200) Replace slate where removed for flashing installation
- Install new sealant at top of flashing typ. (07 9200)

Proposed Plan Legend

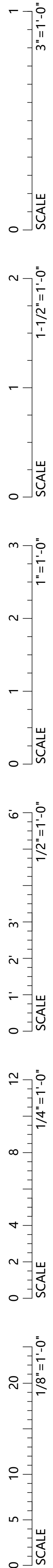
- Indicates area where new item(s) are to be provided and installed
- Indicates area where salvaged item(s) are to be reinstalled
- Indicates area where item(s) are to be repaired in place
- Indicates areas of organic growth to be removed
- Indicates items that exist to remain

2 Proposed Copper Roof Detail
1 1/2" = 1'-0"

1 North Elevation Proposed
3/8" = 1'-0"

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1 Existing Portico Side View



2 Existing Portico Railing Connection



3 Existing Portico Front View



4 Existing Portico Bead board Ceiling



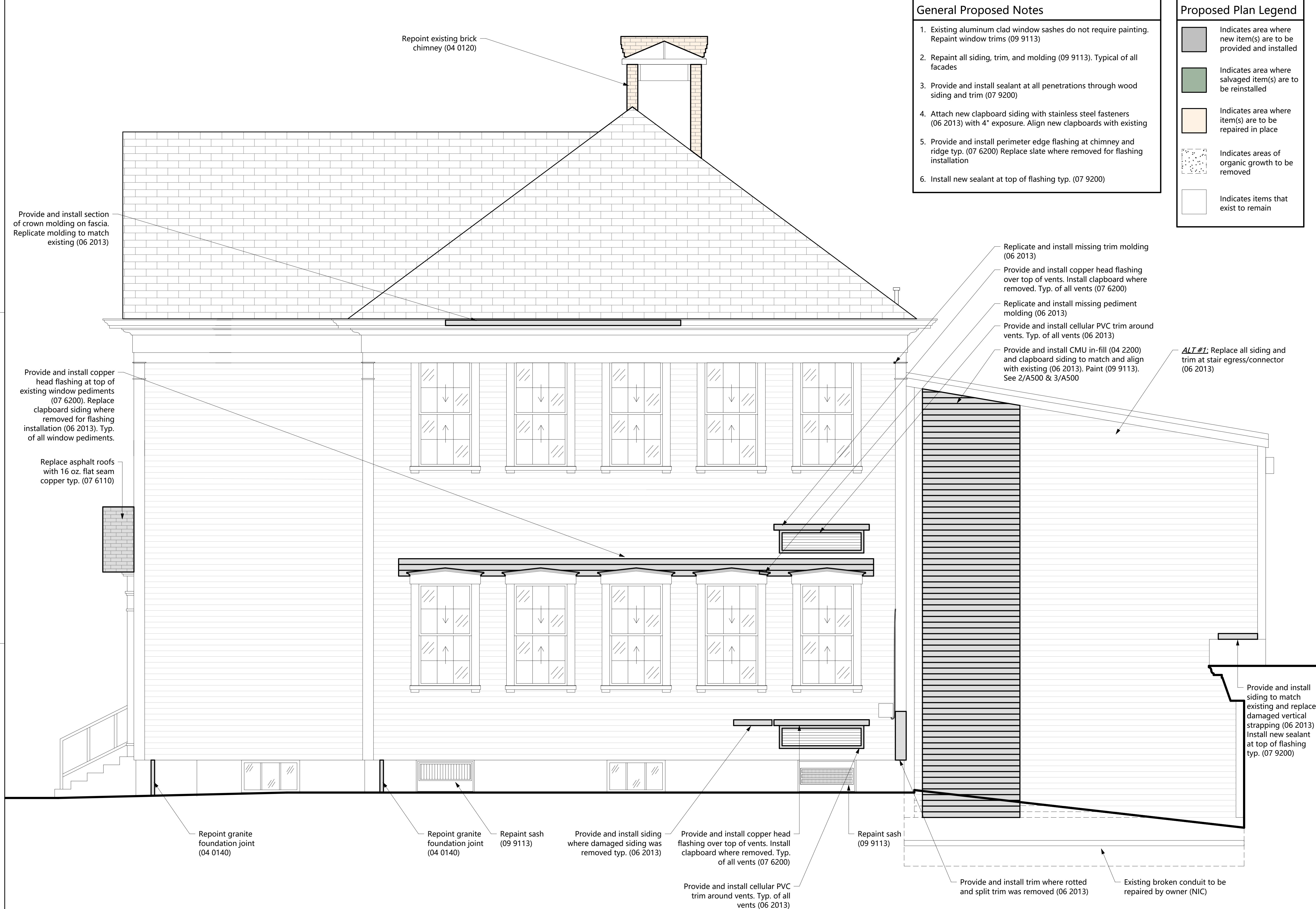
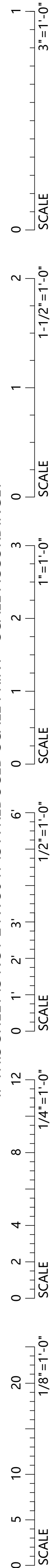
5 North Elevation Front Entry Proposed
1" = 1'-0"

Proposed Plan Legend

- Indicates area where new item(s) are to be provided and installed
- Indicates area where salvaged item(s) are to be reinstalled
- Indicates area where item(s) are to be repaired in place
- Indicates areas of organic growth to be removed
- Indicates items that exist to remain

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General Proposed Notes

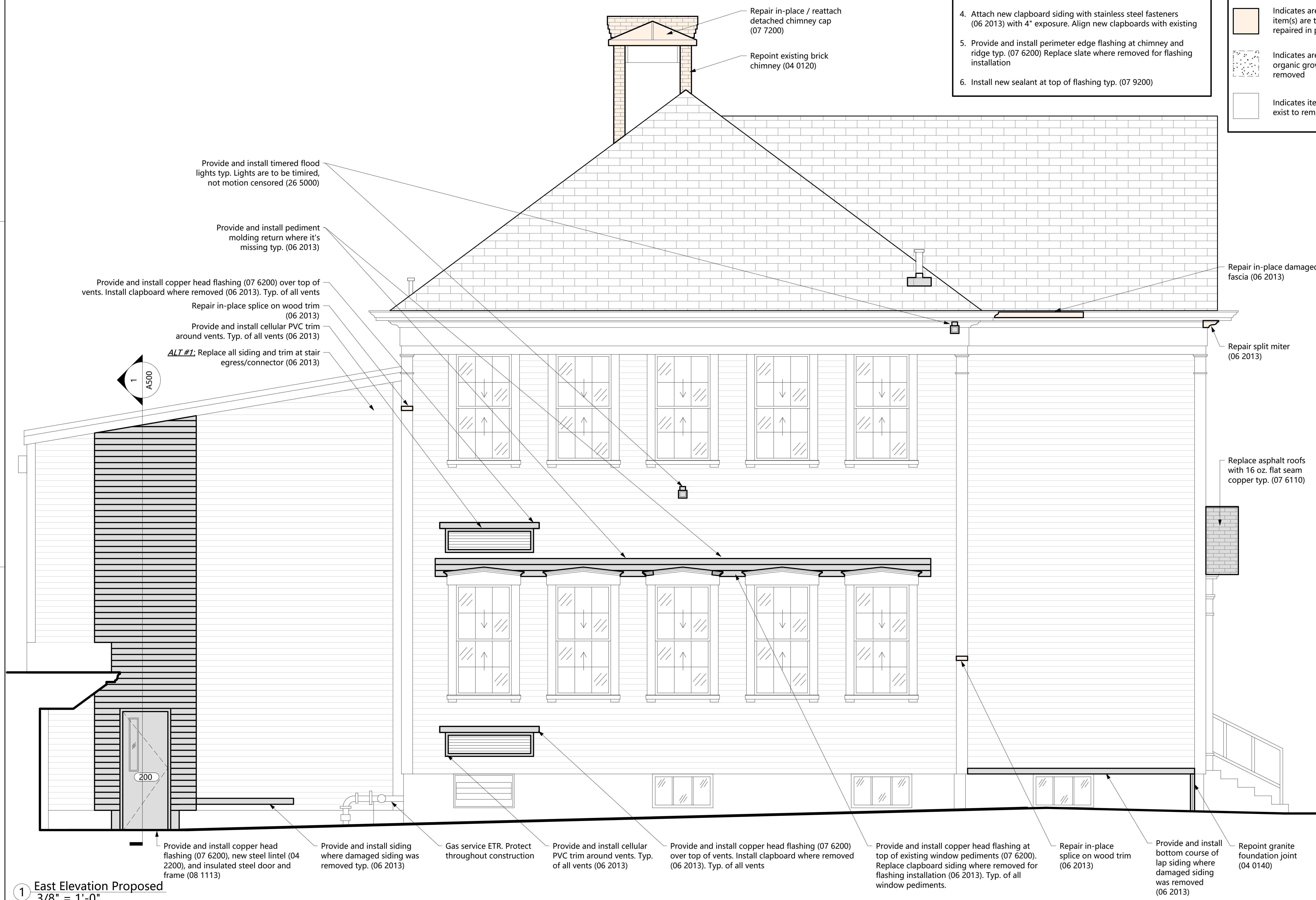
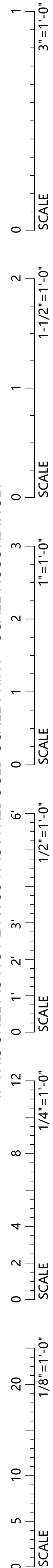
- Existing aluminum clad window sashes do not require painting. Repaint window trims (09 9113)
- Repaint all siding, trim, and molding (09 9113). Typical of all facades
- Provide and install sealant at all penetrations through wood siding and trim (07 9200)
- Attach new clapboard siding with stainless steel fasteners (06 2013) with 4" exposure. Align new clapboards with existing
- Provide and install perimeter edge flashing at chimney and ridge typ. (07 6200) Replace slate where removed for flashing installation
- Install new sealant at top of flashing typ. (07 9200)

Proposed Plan Legend

- Indicates area where new item(s) are to be provided and installed
- Indicates area where salvaged item(s) are to be reinstalled
- Indicates area where item(s) are to be repaired in place
- Indicates areas of organic growth to be removed
- Indicates items that exist to remain

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① East Elevation Proposed
3/8" = 1'-0"

General Proposed Notes

- Existing aluminum clad window sashes do not require painting. Repaint window trims (09 9113)
- Repaint all siding, trim, and molding (09 9113). Typical of all facades
- Provide and install sealant at all penetrations through wood siding and trim (07 9200)
- Attach new clapboard siding with stainless steel fasteners (06 2013) with 4" exposure. Align new clapboards with existing
- Provide and install perimeter edge flashing at chimney and ridge typ. (07 6200) Replace slate where removed for flashing installation
- Install new sealant at top of flashing typ. (07 9200)

Proposed Plan Legend

- Indicates area where new item(s) are to be provided and installed
- Indicates area where salvaged item(s) are to be reinstalled
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Bid Set
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No.	Date	Description
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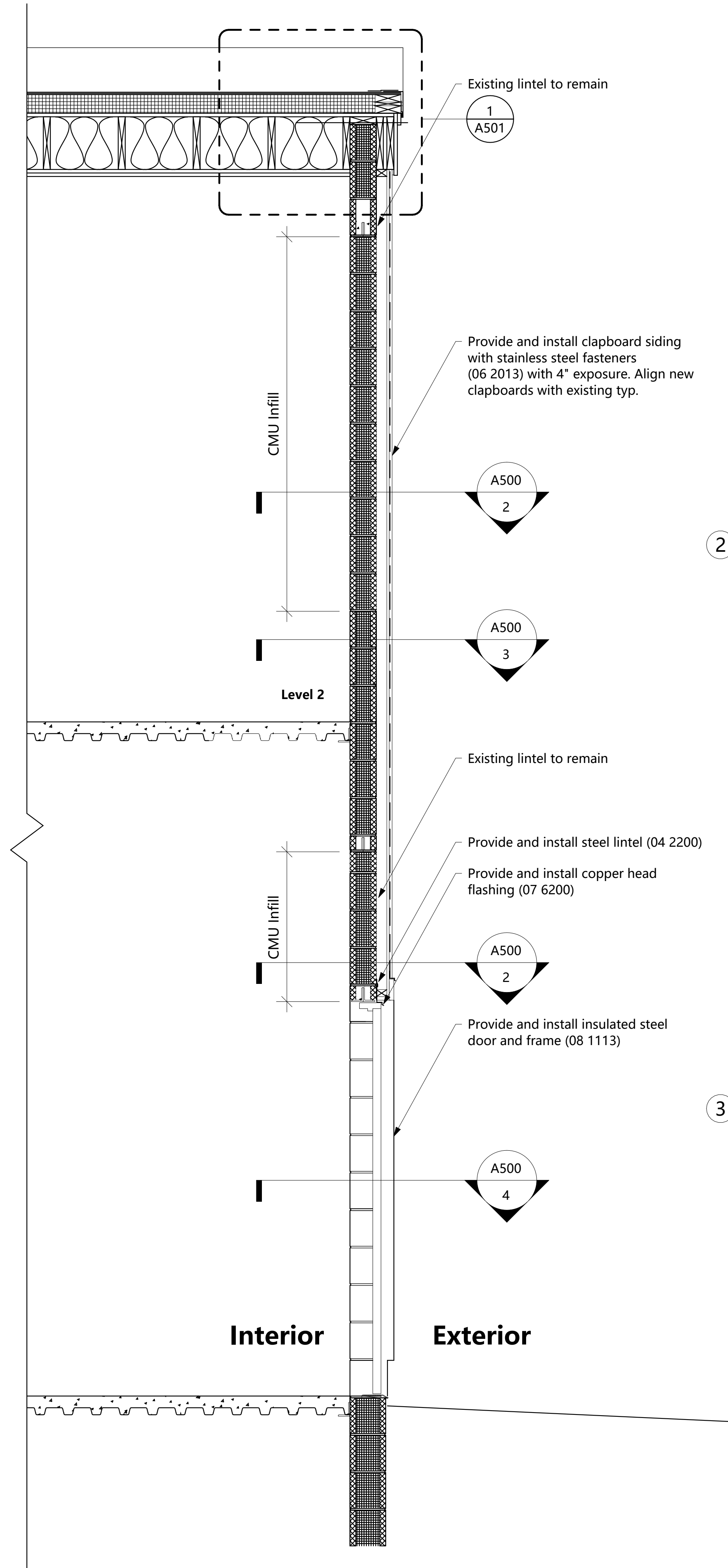
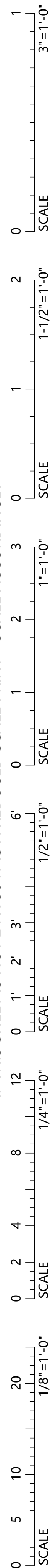
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Drawn by:	EA
Check by:	MN
Date:	3/12/25
Scale:	As indicated

East Elevation
Proposed

A230

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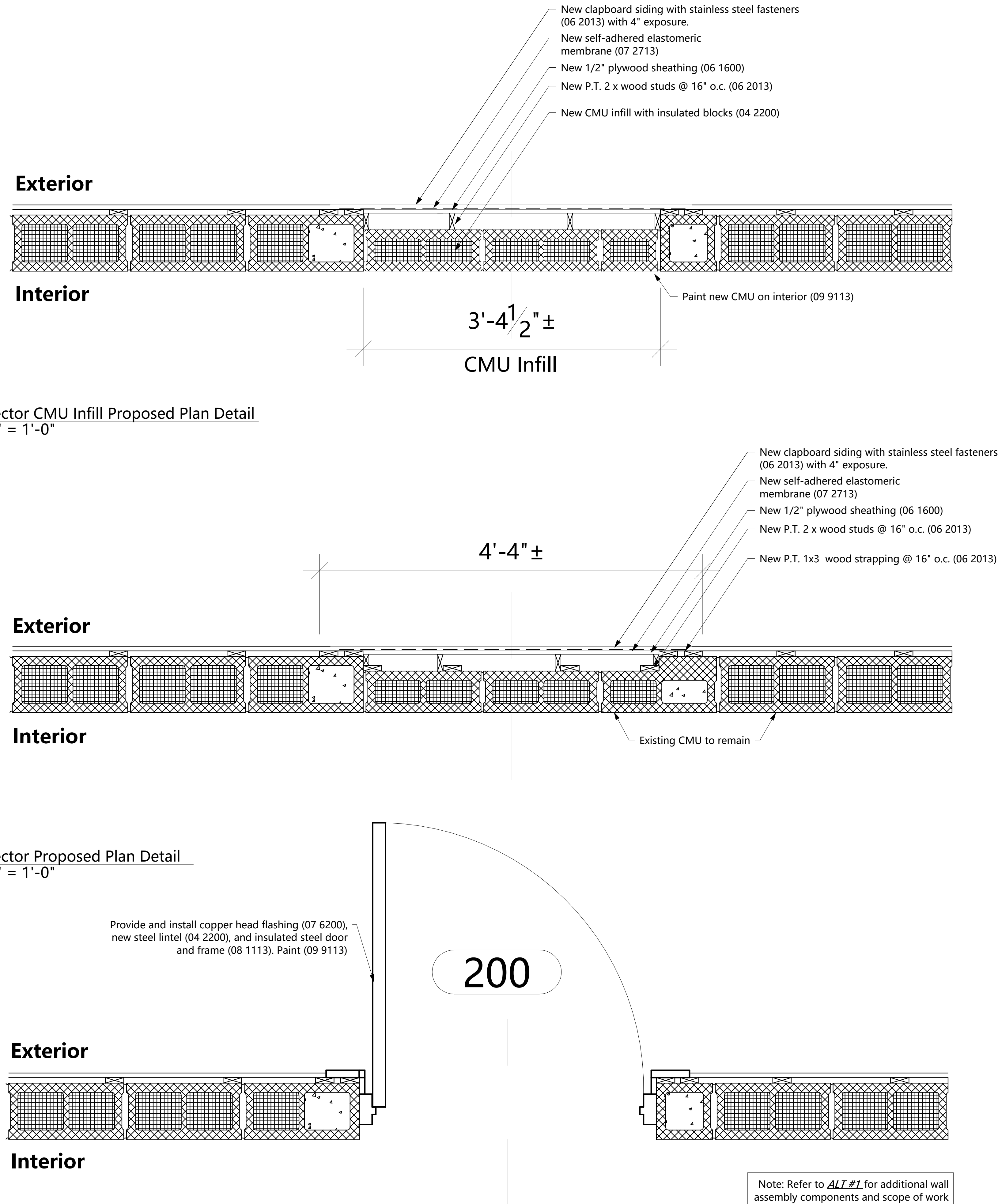


① Egress Stair/Connector Door & Window Infill Proposed Section
3/4" = 1'-0"

② Connector CMU Infill Proposed Plan Detail
1 1/2" = 1'-0"

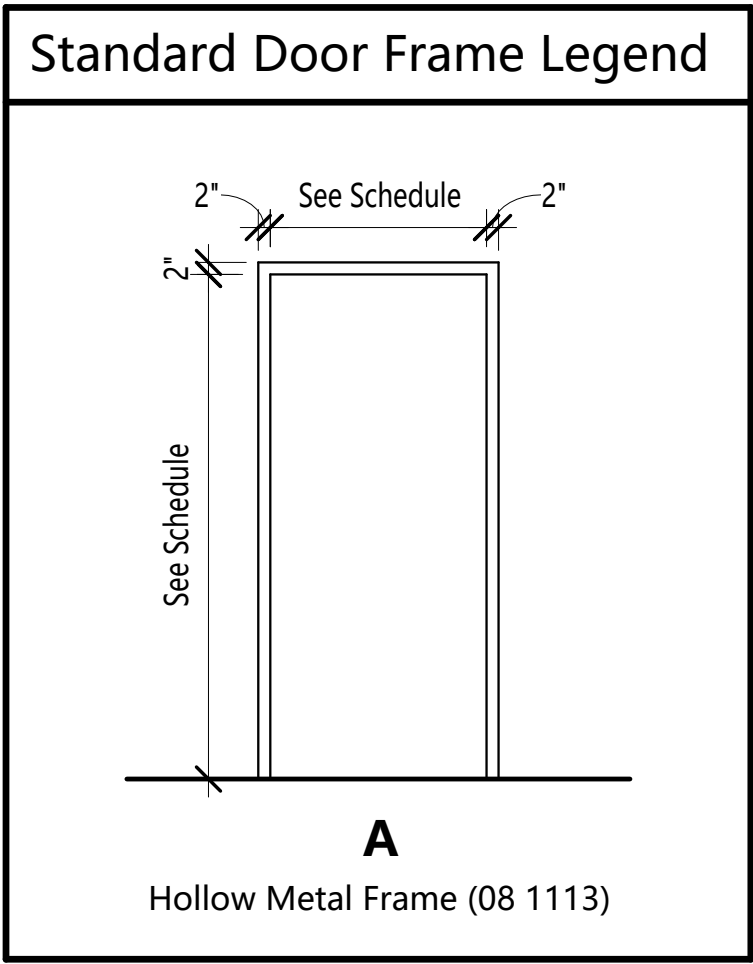
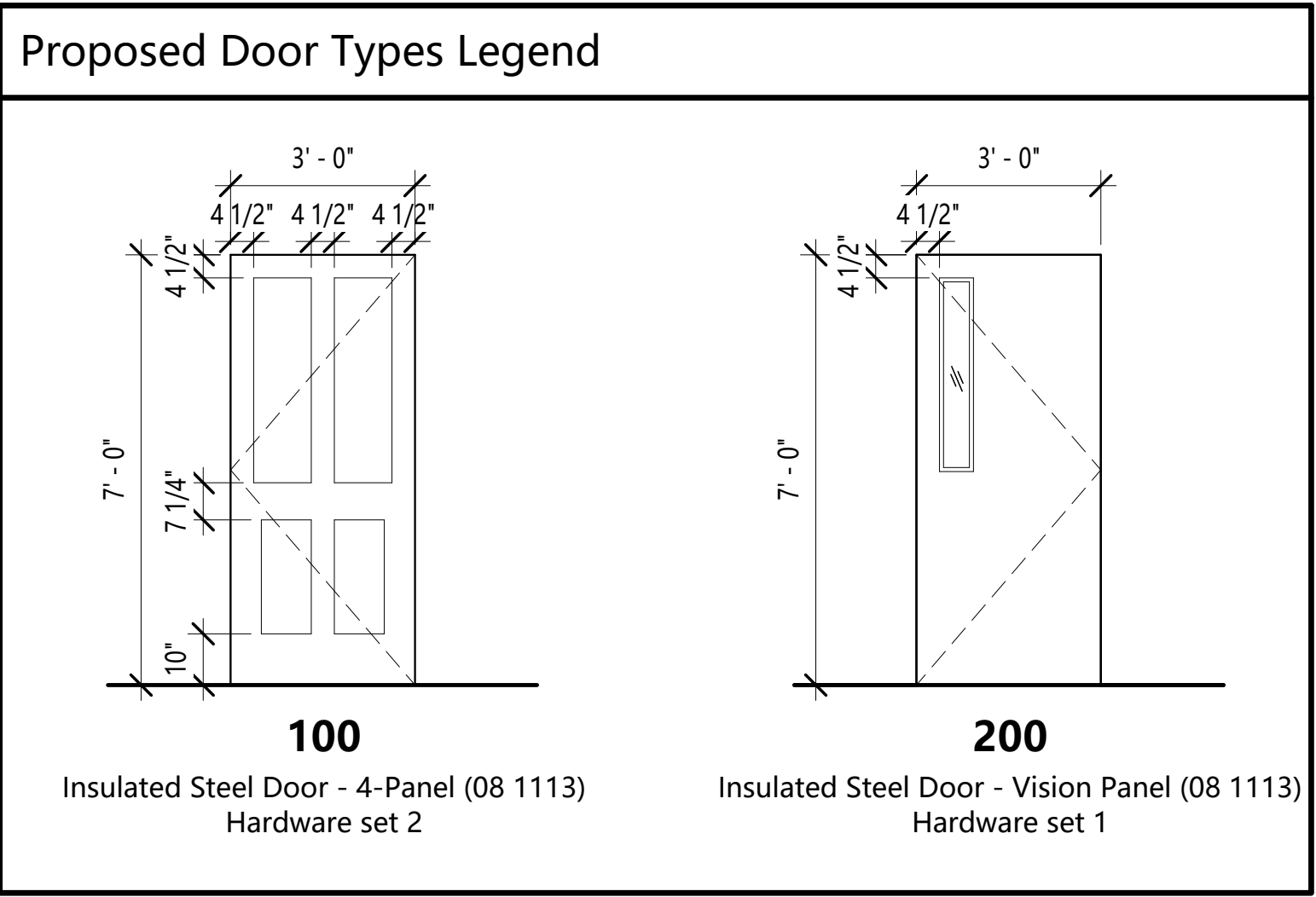
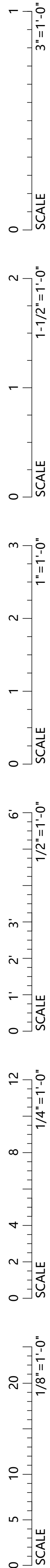
③ Connector Proposed Plan Detail
1 1/2" = 1'-0"

④ Connector Door Proposed Plan Detail
1 1/2" = 1'-0"



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Lintel Schedule	
Masonry Opening	Lintel Size
Up to 3'-0"	L 3 1/2" X 3 1/2" X 5/16"
3'-1" to 4'-6"	L 4" X 3 1/2" X 5/16" (4" leg vertical)
4'-7" to 6'-0"	L 5" x 3 1/2" x 5/16" (5" leg vertical)
6'-1" to 8'-0"	L 6" x 3 1/2" x 5/16" (6" leg vertical)
<div>1. Provide metal lintels over all openings except where lintel blocks are provided and except where called for in the drawings.</div> <div>2. Provide one angle for each 4" of wall thickness. For 6" walls, provide tee or built-up section with properties equal to or greater than 1 1/2 times the angle properties for a 4" wall thickness.</div> <div>3. Provide 8" of bearing each end of all lintels.</div> <div>4. Lintels shall be galvanized.</div>	

